

Olympia Hills Design Standards

County Submittal 12.17.2019

Olympia Hills Design Standards | Table of Contents

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1.0 Place Types

1.0 Place Types & Land Uses

1.1. Place Types.

1. Introduction

The Place Types detailed in Sections 1.1.4 through 1.1.9, outline the different types of “places” that will occur within Olympia Hills, in order to accommodate a mixture of uses, densities, and employment opportunities. Each Place Type will have a distinct purpose, and will provide residents and visitors with a unique experience and character.

2. Establishment of Place Type Districts.

The following Place Type Districts are hereby created. Refer to the Place Types detailed in Sections 1.1.4 through 1.1.9 for specific descriptions and requirements.

- (1) Town Center
- (2) Village Center
- (3) Commercial Center
- (4) Neighborhood
- (5) Campus/Institutional
- (6) Parks and Open Space

3. Place Type Map

The Place Type Districts will be defined in the Community Structure Plan (CSP).

4. Town Center Place Type

The Town Center will act as the Downtown for Olympia Hills. It will be the most dense district, and features a mix of land-uses. There will be an emphasis on providing office uses and promoting employment that will create a jobs-housing balance within Olympia Hills. The Town Center will also include multi-family residential in order to cluster high density residential near jobs, services, and transit. Other uses, such as commercial, retail, and recreation will be provided to support the residents and employees of both Olympia Hills and the larger region. See Figures 1.1 (1) - 1.1 (3) for precedent images.

- (1) Permitted Uses. See Table 1.1 for approved uses.
- (2) Transit. Transit is an important component of a successful Town Center, and is intended to become an integral piece of the Town Center. Olympia Hills shall work with UTA to provide major future transit options, such as light rail or bus rapid transit, that will connect the Town Center to the larger region.
- (3) Density. Residential densities may exceed twenty units per gross acre.



Fig. 1.1 (1) - Town Center Precedent Image



Fig. 1.1 (2) - Town Center Precedent Image



Fig. 1.1 (3) - Town Center Precedent Image

5. Village Center Place Type

Olympia Hills will contain multiple Village Centers located throughout the project. These centers will become the heart of a neighborhood or multiple neighborhoods, and will provide the daily services that will enhance neighborhoods and reduce the need for residents to drive long distances for basic services, while promoting walking and biking. Village Centers will also include single-family residential, multi-family residential, including apartments, condominiums and townhomes.

This category is designed for medium density mixed use development that includes residential (single and multi-family), office, commercial, public/semi-public and recreational open spaces, without a predetermined emphasis on a single use. See Figures 1.2 (1) - 1.2 (4) for precedent images.

- (1) Permitted Uses. See Table 1.1 for approved uses.
- (2) Transit. Transit is an important component of a successful Village Center. Bus or other transit mode should connect Village Centers to the Town Center and other major employment/commercial centers in the area. Transit should also connect Village Centers to nearby major transit facilities, such as light rail or bus rapid transit stations. Olympia Hills shall work with UTA to provide these services.
- (3) Density. Residential densities are anticipated to range between nine and twenty units per gross acre.

6. Commercial Center Place Type

This Place Type is designed to accommodate large format retail uses and other commercial uses that are not compatible with the urban design aspects of Town and Village Centers. The primary land-uses in this Place Type are retail and other commercial uses. See Figure 1.3 (1) for precedent images.

- (1) Permitted Uses. See Table 1.1 for approved uses.
- (2) Density. Upper story residential uses are permitted in Commercial Centers.
- (3) Size Limits. The total area of Commercial Center Place Type(s) shall be limited to 75 Acres.
 - (a) Changes to the size limit in subsection 1.1.6 (3) requires County Council approval.



Fig. 1.2 (1) - Village Center Precedent Image



Fig. 1.2 (2) & 1.2 (3) - Village Center Precedent Images



Fig. 1.2 (4) - Village Center Precedent Image



Fig. 1.3 (1) - Commercial Center Precedent Image

1.0 Place Types & Land Uses

7. Institutional Place Type

This category is designed to accommodate a campus-like environment that is dedicated to an educational institution, which may include classrooms, laboratories, research facilities, agricultural lands, offices, housing, educational facilities of all types, religious buildings, and other related uses. See Figure 1.4 (1) for example image.

- (1) Bastian Agricultural Center (Utah State University). Olympia Hills has set aside 100 acres of land that will be donated to Utah State University. This land will become the Bastian Agricultural Center, which is intended to provide educational facilities, classroom/workshop space, orchards, agricultural fields, an amphitheater, a wetland discovery center, livestock facilities, recreation opportunities and more.



Fig. 1.4 (1) - Institutional Place Type Example

8. Neighborhood Place Type

This Place Type is designed for comparatively low-density mixed use development that emphasizes residential (single and multi-family) use, but also includes limited retail, office, commercial, and recreation/open space uses. A mix of housing types is encouraged. See Figures 1.5 (1) - 1.5 (3) for precedent images.

- (1) Permitted Uses. See Table 1.1 for approved uses.
- (2) Density. Residential densities are anticipated to range between four and eight units per gross acre.



Fig. 1.5 (1) - Neighborhood Place Type Precedent

9. Open Space

Landscaped areas, parks, natural area, stream corridors or farmland that is established to provide and preserve outdoor recreational, agricultural, or other similar uses. In addition to the open space district, areas of open space will also be provided within the other land use districts as well. See Chapter 4.0 Parks, Trails, and Open Space. See Figure 1.6 (1) for precedent images.



Fig. 1.5 (2) & 1.5 (3) - Neighborhood Place Type Precedent



Fig. 1.6 (1) - Open Space Place Type Precedent

1.2. Community-Wide Design.

1. General Requirements

- (1) The planning and design of the community shall work with existing conditions such as topography, drainages, and stream corridors to provide a context sensitive plan.
- (2) The planning and design of the community shall be coordinated with adjacent properties to maximize street and trail connections to properties outside of the Olympia Hills site.
- (3) Neighborhoods shall be designed to provide local access to adjacent neighborhoods, nearby destinations, transit, parks and similar places (such as USU Bastian Agricultural Center) by walking and bicycles.
- (4) Small convenience retail establishments, such as corner stores, shall be permitted to occupy portions of the ground and mezzanine floors of residential and office buildings outside of the Town and Village Centers, where appropriate.
- (5) A limited amount of local-serving commercial activity may be located within a Neighborhood Place Type. These commercial uses should be located near the core of each Neighborhood, or in other strategic locations that will provide convenient access from neighborhoods. Typical neighborhood center retail uses include, but are not limited to small grocery stores, cafes, restaurants, day care centers and personal service operations.
- (6) The location of any elementary, middle, or high schools, community centers, and recreation spaces shall be coordinated with the appropriate public entities so as to be central gathering places, and shared-use facilities for the community, where possible.
- (7) Thoughtful design solutions that enhance safety shall be implemented into the planning and design of Olympia Hills. Some of the major strategies to enhance public safety include:
 - (a) Design streets to increase pedestrian and bicycle traffic
 - (b) Place windows overlooking sidewalks and parking lots.
 - (c) Use the shortest, least sight-limiting fence appropriate for the situation.
 - (d) Place lighting along pathways and other pedestrian-use areas. Avoid using too bright or too dim of lights.
 - (e) Residential uses should include porches, stoops, balconies, or other outdoor living spaces to increase eyes on the street.

2. Sustainability

- (1) Alternative Energy. Alternative energy technologies, such as solar and wind power, and alternative vehicle power technologies, shall be accommodated and encouraged on both a distributed generation (e.g. rooftop solar panels, EV charging, battery storage, etc.) and utility scale (e.g. renewable procurement through the qualified entity).

1.3. Land Use.

1. Land Uses.

Table 1.1 contains the land use table. The listed uses are grouped into general categories, which may contain lists of additional uses or clusters of uses.

- (1) Unlisted Similar Use. If a use is not listed but is similar in nature and impact to a use permitted within a zoning district, a County Administrator may interpret the use as permitted.
 - (a) If the unlisted use is similar in nature and impact to a use requiring a Conditional Use Permit, a County Administrator may interpret the use as also requiring a Conditional Use Permit.
- (2) Unlisted Dissimilar Use. If a use is not listed and cannot be interpreted as similar in nature and impact to a use within a zoning district that is either permitted or requires a Conditional Use Permit, the use is not permitted and may only be approved through an amendment of this article.
- (3) All land-use requirements listed in this section supercede the current County Code.

2. Land Use Table.

Table 1.1. outlines the permitted uses in each zoning district. Each use is given one of the following designations for each zoning district in which that use is permitted.

- (1) Changes to the Land Use Table (Table 1.1) requires County Council Approval.
- (2) Permitted ("P"). These uses are permitted by-right in the districts in which they are listed.
- (3) Permitted in Second Story or Above ("U"). These uses are permitted by-right in the districts in which they are listed, provided that the uses are located in the second story or above of a structure. These uses may also be located in the ground story provided that they are located beyond a depth of at least 30 feet from the front facade.
- (4) Requires a Conditional Use Permit ("C"). These uses require administrative review and approval in order to occur in the districts in which they are listed and must follow any applicable development standards associated with the use as well as meet the requirements of the Conditional Use.
- (5) Listed uses that are not permitted in the district are indicated by an ("N").

3. Prohibited Uses.

Table 1.3. outlines the prohibited uses in each zoning district.

- (1) Changes to the Prohibited Use Table (Table 1.3) requires County Council Approval.

1.0 Place Types & Land Uses

Uses	Districts					
	Town Center	Village Center	Commercial Center	Neighborhood	Institutional	Open Space
Residential & Lodging						
Residential	P ¹	P ¹	U	P	P ²	N
Hotel & Inn	P	P	P	N	N	N
Short Term	P	P	N	N	N	N
Facility for Persons w/Disability	P	P	P	P	P	N
Residential Care	P	P	P	N	N	N
Civic						
Assembly	P	P	P	P	P	N
Hospital & Clinic	P	P	P	N	P	N
Library/Museum/Post Office	P	P	P	P	P	N
Police & Fire	P	P	P	P	P	N
School	P	P	P	P	P	N
Retail						
Center Retail*	P	P	P	P ³	N	N
Commercial Retail*	N	N	P	N	N	N
Outdoor Sales Lot*	N	N	P	N	N	N
Service						
Center Service*	P	P	P	P ³	N	N
Commercial Service*	N	N	P	N	N	N
Office						
Office*	P	P	P	P ³	N	N
Small Scale Craftsman*	P	P	P	N	N	N
Utility						
Parking Structures	C	C	C	N	C	N
Parking Lots	C	C	C	N	C	N
Utility Lot*	C	C	P	N	C	C
Accessory Uses						
Home Occupation	P	P	P	P	P	N
Outdoor Storage of Goods	N	N	P	N	N	N
Parking Lot	P	P	P	P	P	P
Parking Structures	P	P	P	P ⁴	P	N

*See Corresponding List
Table 1.1. Uses by District.

KEY

- P Permitted
- P¹ Permitted with limitations on Designated Primary Streets. See 5.4.
- P² Permitted as student housing controlled by the Institution.
- P³ Permitted on corner lot only and shall be a maximum of a 10,000 sf building footprint.
- P⁴ Permitted with County Staff approval. See CSP for parking structure typologies.
- U Permitted in Second Story or Above
- N Not Permitted
- C Conditional

Center Retail

Alcohol & Liquor Sales
Antique Shop
Apparel & Accessory Store
Art & Education Supplies
Bakery, Retail
Bicycle Sales & Repair
Book, Magazine,
& Newspaper Store
Building Materials, Hardware,
and Garden Supply
Camera & Photo Supply Store
China & Glassware Shop
Convenience Store
Drug Store/Pharmacy
Fabric & Craft Store
Florist
Gift, Novelty, & Souvenir Shop
Grocery Store
Hardware Store
Hobby Shop
Jewelry Sales & Repair
Luggage & Leather Goods
Music Store
Musical Instrument Repair &
Sales
Office Supply
Optical Goods
Paint & Wallpaper
Party Supply Shop
Pet & Pet Supply
Specialty Food Market (Butcher,
Candy, Fish Market, Produce,
etc.)
Sporting Goods Sales & Rental
Stationary & Paper Store
Toy Shop
Video/Game Sales & Rental
Vertical Mixed-Use Storage

Table 1.2 (1). Typical Retail Uses.

Commercial Retail

All Neighborhood Retail

Appliance & Electronic Sales &
Service
Automotive Supply (no service)
Computer Software Sales &
Leasing
Department Store
Gun Shop
Home Furnishings & Accessories
Sales
& Rentals
Medical Supply Store & Rental
Motorcycle & Motor Scooter
Sales
Heating, Air Conditioning &
Plumbing
Supplies, Sales, & Service
Cabinet Supply (display only)
Machine Sales and Rental
Agriculture Equipment and
Supply
Electrical Supplies
Merchandise Vending Machine
Operators
Medical Supply Store & Sales
Large Format Retail
Large Format Grocery Store

Outdoor Sales Lot

Holiday Sales
Agriculture Equipment Sales

Center Service

Arcade
Bank or other Financial Service
Barber Shop, Beauty Salon,
& Spa
Billiard Hall
Catering
Day Care, Adult or Child
Dry Cleaning & Laundry
Emergency Care Clinic
Fitness, Dance Studio, & Gym
Framing
Home Furniture & Equipment
Repair
Locksmith
Mailing Services
Microbrewery
Pet Grooming
Photocopying & Printing
Photography Studio & Supplies
Restaurants (refer to state
law for alcoholic beverage
requests)
Shoe Repair
Tailor & Seamstress
Tanning Salon
Theater
Training Center
Travel Agency & Tour Operator
Veterinarian

Table 1.2 (2). Typical Service Uses.

Commercial Service

All Center Services

Auto Repair
Auto Sales
Auto Fuel Station
Exterminating & Disinfecting
Service
Funeral Home
Miniature Golf Course
Recreation, Commercial Indoor
Repair of Small Goods &
Electronics
Shooting & Archery Ranges
(indoor only)
Warehouse

Utility Lot

Power Station
Underground Utility Station

**Table 1.2 (3).
Typical Utility Lot Uses.**

Office

Architecture/Engineering/Design
Building Contractor (office only)
Business Consulting
Charitable Institutions
Computer Programming & Support
Detective Services
Educational Services (tutor &
testing)
Employment Agency
Financial & Insurance
Government Offices
Legal Services
Management Services
Physical Therapy/Physical
Rehabilitation
Medical & Dental with Laboratory
Public Relations & Advertising
Property Development
Radio & TV Studio
Real Estate

Table 1.2 (4). Typical Office Uses.

1.0 Place Types & Land Uses

Prohibited uses, limitations – Within Olympia Hills the following are specific use prohibitions and/or limitations:		Continued - Prohibited uses, limitations – Within the Olympia Hills the following are specific use prohibitions and/or limitations:	
SPECIFIC USE LIMITATION APPLICABLE TO ALL OLYMPIA HILLS PLACE TYPES		CONTINUED - SPECIFIC USE LIMITATION APPLICABLE TO ALL OLYMPIA HILLS PLACE TYPES	
USE		USE	
Detention facility/jail	Not allowed	Taxicab and/or limousine business	Only in CC
Outdoor gun range	Not allowed	Tavern, as defined by State Code	Only in TC, VC, CC
Animal Boarding	Not allowed	Manufactured home park or manufactured home subdivision	Not allowed
Displays (products held for sale) over five feet in horizontal distance from the main building.	Only in CC	Regular flea markets, swap meets	Not allowed
Equipment, car or truck rental	Only in CC Place Type	Recreational vehicle campgrounds	Not allowed
Fuel sales	Allowed in CC . Allowed in TC, VC, with pumps in side or rear of building.	Impound, vehicle recycling, and/or junk yards	Not allowed
Pole type commercial wireless communication structures.	Pole type only allowed in Commercial and on top of buildings in TC and VC	Automobile repair	Only in CC
Outdoor kennel	Not allowed	Distribution, limited	Not allowed
Sexually oriented businesses	Not allowed	Manufacturing, light	Not allowed
Pawnshop, retail tobacco specialty business, hookah lounge, tattoo, body piercing, non-depository lending establishments as the principle use.	Not allowed	Fireworks stands	Only in CC
Massage or reiki as the principal use including associated services	Only in TC, VC, CC	Convalescent facilities	Not allowed
Sale or lease of new or used vehicles of all types, moving trucks, watercraft, mobile homes, travel trailers, campers, motorcycles and other recreational vehicles	Only in CC	Billboards, pylon signs, pole signs	Not allowed
Secondhand stores including general merchandise, precious metal dealer/processor and/or precious gem dealer	Only in TC, VC, CC	Bail bonds	Not allowed
Self-storage facility single story & single use, including small to large storage units, neighborhood storage	Only in CC	Rehabilitation facility	Not allowed
		Greenhouse	Not allowed
		Landscape supply yard	Only in CC
		Temporary or seasonal merchant, excluding farmers markets, food trucks, or civic events	Not allowed
		Warehouse	Not allowed

KEY	
TC	Town Center
VC	Village Center
CC	Commercial Center

Table 1.3. Prohibited Uses.

1.4. Definition of Uses.

1. Residential and Lodging Uses.

A category of uses that include several residence types.

- (1) Residential. One or more dwelling units located within the principal structure of a lot, in which the units may or may not share a common wall with the adjacent (horizontally or vertically) unit or have individual entrances from the outside.
- (2) Hotel & Inn. A facility offering temporary or permanent lodging to the general public consisting of sleeping rooms with or without in-room kitchen facilities. Secondary service uses may also be provided, such as restaurants and meeting rooms. Rooms shall be accessed from the interior of the building. Hotel units shall not count against approved Residential Dwelling Units (RDU).
- (3) Short Term. Any dwelling or portion thereof that is available for uses or is used for accommodations or lodging of guests, paying a fee, or other compensation for a period of less than thirty consecutive days.
- (4) Facility for Persons w/Disability. Residential facility for persons with a disability.
- (5) Residential Care. A facility offering temporary or permanent lodging to the general public consisting of sleeping rooms with or without in-room kitchen facilities. Residential care includes such uses as independent and assisted living facilities, nursing homes, residential care homes, congregate care, and transitional treatment facilities. Assistance with daily activities may be provided for residents. Secondary service uses may also be provided, such as restaurants and meeting rooms. Rooms shall be accessed from the interior of the building. For density calculations, expected room occupancy (1-16 individuals) equals 1 Residential Dwelling Units (RDU).

2. Civic Uses.

A category of uses related to fulfilling the needs of day-to-day community life including assembly, public services, educational facilities, and hospitals.

- (1) Assembly. A facility that has organized services, meetings, or programs to benefit, educate, entertain, or promote discourse amongst the residents of the community in a public or private setting. Assembly includes such uses as a community center, house of worship, and private clubs and lodges.
- (2) Hospital & Clinic. A licensed institution providing medical care and health services to the community. These services may be located in one building or clustered in several buildings and may include laboratories, in- and out-patient facilities, training facilities, medical offices, staff residences, food service, pharmacies, and gift shop.
- (3) Library/Museum. A structure open to the general public housing educational, cultural, artistic, or historic information, resources, and exhibits. May also include food service and a gift shop.

- (4) Post Office. A publicly accessed facility for the selling of supplies and mail related products and the small scale collection and distribution of mail and packages. Large-scale postal sorting and distribution is not permitted.
- (5) Police and Fire. A facility providing public safety and emergency services; training facilities, locker rooms, and limited overnight accommodations may also be included. The facilities shall be housed in a permitted building, but shall have the following additional allowances:
 - (a) Garage doors are permitted on the front facade.
 - (b) Exempt from maximum driveway widths.
- (6) School. An education facility with classrooms and offices, that may also include associated indoor facilities such as ball courts, gymnasium, theater, and food service.

3. Retail Uses.

A category of uses involving the sale of goods or merchandise to the general public for personal or household consumption.

- (1) Center Retail. Center retail includes such uses as those listed in the "Center Retail" list found in Table 1.2 (1). Typical Retail Uses.
- (2) Commercial Retail. A use in this category includes all Center Retail uses as well as such uses as those listed in the "Commercial Retail" list found in Table 1.2 (1). Typical Retail Uses.
- (3) Outdoor Sales Lot. A use involving the sale of goods or merchandise to businesses and/or the general public, where the majority of the goods are stored or displayed outdoors. Outdoor sales lots include such uses as the sale and rental of automobiles, trucks, trailers, boats, and recreational vehicles; and the sale of building materials, landscape materials, and garden supplies.
- (4) See 9.0 Appendix for definitions of retail uses.

4. Service.

A category of uses that provide patrons services and limited retail products related to those services. Visibility and accessibility are important to these uses, as most patrons do not utilize scheduled appointments.

- (1) Center Service. Center service includes such uses as those listed in the "Center Service" list found in Table 1.2 (2). Typical Service Uses.
- (2) Commercial Service. A use in this category includes all Neighborhood Service uses as well as such uses as those listed in the "Commercial Service" list found in Table 1.2 (2).
- (4) See 9.0 Appendix for definitions of service uses.

1.0 Place Types & Land Uses

5. Office Uses.

A category of uses for businesses that involve the transaction of affairs of a profession, service, industry, or government. Patrons of these businesses usually have set appointments or meeting times; the businesses do not typically rely on walk-in customers. Office uses include those listed in Table 1.2 (4).

- (1) See 9.0 Appendix for definitions of office uses.

6. Small Scale Craftsman.

A use involving small scale manufacturing, production, assembly, and/or repair with little to no noxious by-products that includes a showroom or small retail outlet. Small Scale Craftsman includes such uses, but are not limited to those found in Table 1.2 (5). This use may also include associated facilities such as offices and small scale warehousing, but distribution is limited. The maximum overall gross floor area is limited to 20,000 square feet, unless otherwise noted.

7. Parking Lot.

A lot that does not contain a permitted building or Open Space Type and is solely used for the parking of vehicles. In the districts where a parking lot is a conditional use ("C"), the following apply:

- (1) Corner Lots. A corner lot shall not be used as a parking lot.
- (2) Adjacent Parking Lots. Two parking lots cannot be located directly adjacent to one another.
- (3) Single Family. Parking lot cannot be associated with a single family use.
- (4) Distance. Parking lot must be within 1,000 feet of the principal entrance to the associated use unless:
 - (a) At least 75% of the spaces are dedicated for public use.
 - (b) An approved parking agreement is in place.
- (5) Pedestrian Access. Must be connected to associated use by a public pedestrian pathway.
- (6) Commercial Vehicles. Parking lots for commercial vehicles are not permitted in these districts.

Small Scale Craftsman

Apparel & Finished Fabric Products
Bakery & Confections
Beverages, including Beer, Wine, Liquor, Soft Drinks, Coffee
Botanical Products
Commercial Scale Copying & Printing
Film Making
Furniture & Fixtures
Glass
Jewelry, Watches, Clocks, & Silverware
Leather Products
Musical Instruments & Parts
Pottery, Ceramics, & Related Products
Printing, Publishing & Allied Industries
Shoes & Boots
Signs & Advertising
Textile, Fabric, Cloth
Toys & Athletic Goods
Upholstery
Woodworking

Table 1.2 (5). Typical Small Scale Craftsman Uses.

8. Parking Structure.

A parking structure on a lot that does not contain a permitted Building Type and is solely used for the parking of vehicles. In the districts where a parking structure is a conditional use ("C"), the following apply:

- (1) Corner Lots. A corner lot shall not be used for a parking structure.
- (2) Primary Street. No facade of the Parking Structure shall be located on a Primary Street unless active uses are provided on the ground floor.
- (3) Distance. Parking lot must be within 1,500 feet of the principal entrance to the associated use unless:
 - (a) At least 75% of the spaces are dedicated for public use.
 - (b) An approved parking agreement is in place.
- (4) Pedestrian Access. Must be connected to associated use by a public pedestrian pathway.
- (5) Commercial Vehicles. Parking structures for commercial vehicles are not permitted in these districts.

9. Utility Lot.

A lot that is primarily utilized for the City/County infrastructure needs. Utility and infrastructure includes such uses as electric or gas services, sewage treatment, water treatment and storage, and energy conversion systems. In the districts where a utility lot is a conditional use ("c"), the following apply:

- (1) Public hearing and notification of neighbors
- (2) Landscape buffer (along with required landscape plan) of 10 feet on all street facing sides, with additional shrubs 1 per 7 linear feet and 1 large deciduous tree or conifer per 30 feet.

10. Open Space.

A use of land for active or passive, public or private, outdoor space, including such uses as parks, plazas, greens, playgrounds, or community gardens. Refer to 4.0 Open Space Types for permitted forms of open space. Open space uses may also be utilized to host temporary private or community events, such as a farmer's market or art fair.

- (1) This use may involve small scale food and beverage service, no more than 300 square feet in space, located in a kiosk, with no service access.
- (2) Buildings located directly adjacent to an open space use should treat facades facing this use with street facade requirements.

11. Accessory Uses.

A category of uses that are not permitted to serve as the principal use on a zoning lot.

- (1) Home Occupation. An occupational use that is clearly subordinate to the principal use as a residence and does not require any alteration to the exterior of a building.
- (2) Parking Lot. An uncovered paved surface used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot. See 5.0 Site Design for location of parking lots.
- (3) Parking Structure. A structure used solely for the parking of vehicles, intended for use by the occupants in an adjacent building on the lot.
- (4) Outdoor Storage of Goods. Permanent outdoor storage of goods not typically housed or sold indoors, such as large scale materials and building and landscape supplies.

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2.0 Street Network

2.0 Street Network

1. Intent

Olympia Hills intends to create a well-connected street network with appropriate sized blocks in order to create a highly walkable environment that maximizes mobility. The benefits of a well-connected street network include:

- More transportation options and routes
- Improved active transportation
- Increased real estate values
- Shorter emergency response times and larger emergency response areas
- Reduced traffic congestion
- Better flexibility for redevelopment
- Community health benefits
- Safer streets

2. General Requirements

(1) Compatibility. All street and transportation elements will comply with the following standards, where applicable:

- A Policy on Geometric Design of Highways and Streets (Green Book), AASHTO, latest version
- Manual on Uniform Traffic Control Devices (MUTCD), FHWA, latest version
- Highway Capacity Manual (HCM), TRB, latest version
- Roadside Design Guidelines, AASHTO, latest version
- UDOT Roadway Manual of Instruction / Standards, latest versions
- Guide for the Development of Bicycle Facilities, AASHTO, latest version
- Urban Bikeway Design Guide, NACTO, latest version
- Separated Bike Lane Planning and Design Guide, FHWA, latest version
- Achieving Multimodal Networks: Applying Design Flexibility and Reducing Conflicts, FHWA, latest version
- Incorporating On-Road Bicycle Networks into Resurfacing Projects, FHWA, latest version

(2) Transit. Olympia Hills will coordinate with the Utah Transit Authority to provide future transit facilities that connect Olympia Hills to the larger UTA system.



Fig. 2.1 - Daybreak Neighborhood, South Jordan, UT
Scale: 1"= 400'

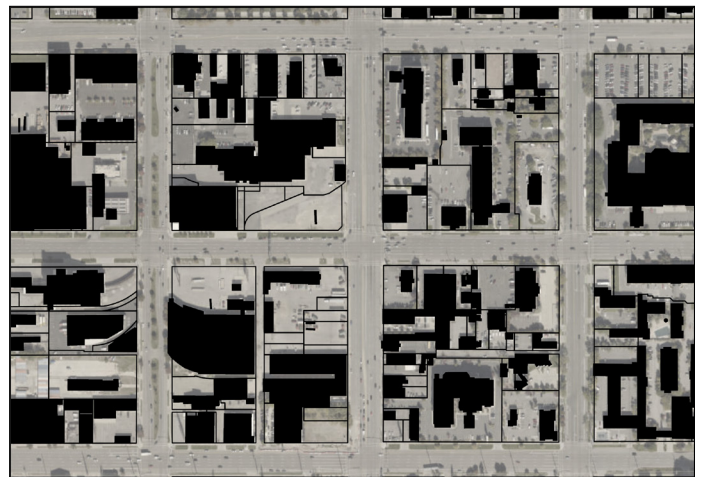


Fig. 2.2 - Salt Lake City, UT
Scale: 1"= 400'

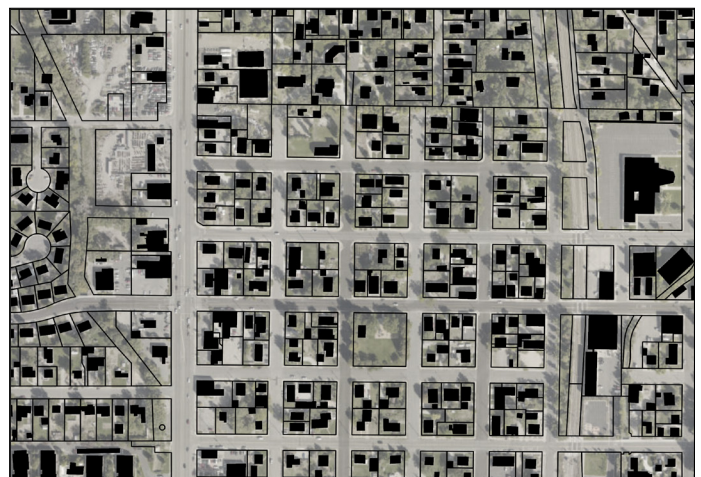


Fig. 2.3 - Historic Sandy, UT
Scale: 1"= 400'

3. Connectivity Metrics

(1) Overview

While the concept of connectivity is simple, it is important to establish clear metrics and standards to define, measure and improve connectivity. These standards center around two primary concepts: relative connectivity and network density. Both are important to consider when analyzing street networks; the two concepts complement one another to provide a well-connected network.

- (a) **Relative Connectivity:** The relative level of connectivity means that intersections provide a certain amount of connections among streets. For example, a 4-way intersection provides more connectivity than a 3-way intersection, and both provide more connectivity than a cul-de-sac, or other dead end, which provides no connectivity. Relative connectivity is measured primarily by the connectivity index, which is the ratio of street segments ("links") to intersections and dead ends ("nodes") in an area. The standards in this chapter require a minimum connectivity index. The level of connectivity is further established through requirements and restrictions on cul-de-sacs and dead ends.
- (b) **Network Density:** While relative connectivity is important, it is not the only important factor. Network density is the number of nodes per given unit of area, such as nodes per square mile. A city with only 4-way intersections and 800-foot blocks may not be as well connected as a city with a few cul-de-sacs and 350-foot blocks. A city with smaller blocks will have more total intersections per square mile (and be more connected) than a city with a similar level of relative connectivity and larger blocks. Network density is

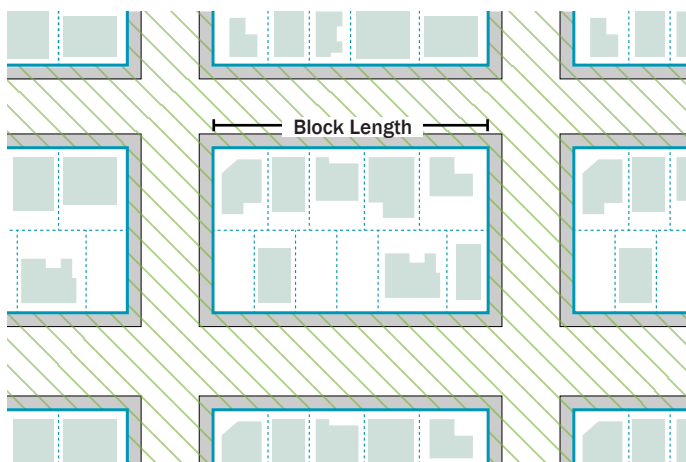
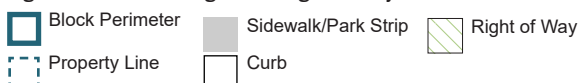


Figure 2.4 - Block Length and Right of Way



established by a maximum block length as well as maximum spacing of pedestrian paths and streets connecting outside the project to existing or future developments.

(2) Definitions

- (a) **Area.** The portion of land that is being evaluated; generally the property or project phase being developed.
- (b) **Block.** A contiguous group of properties bounded by multiple thoroughfares, rights-of-way, railroads, water bodies or other similar features. The block's perimeter is formed by outer property lines of the properties within the block. (Figure 2.4)

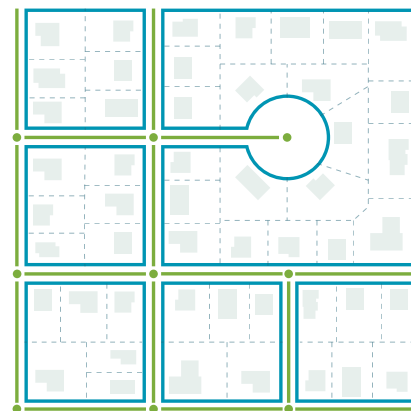


Fig. 2.5 - Links and Nodes

— Link
● Node

- (c) **Block Length.** The length of one side of a block between two streets. (Fig. 2.4). May vary by Place Type to meet specific goals for different Place Types. See Table 2.1.
- (d) **Block Perimeter.** The block perimeter is defined as the length of all sides of a block added together. (Figure 2.4).
- (e) **Collector Street.** A street providing land access within commercial, industrial and residential areas. A collector street enables traffic movement between local streets and the major street network. See Salt Lake County Code of Ordinances 14.12.010.
- (f) **Connectivity Index.** Calculated by dividing the number of links in an area by the number of nodes in that same area. Include one-half (1/2) of the perimeter links and nodes in link and node totals. See Figure 2.7.

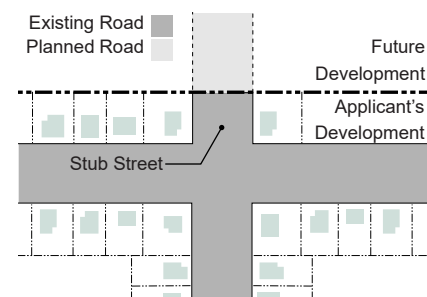


Fig. 2.6 - Stub Street

2.0 Street Network

- (g) *Cul-de-sac*. A street ending in a vehicular turnaround whose roadway does not connect to other streets.
- (h) *Link*. A segment of street between two nodes, or a stub street (Figure 2.5).

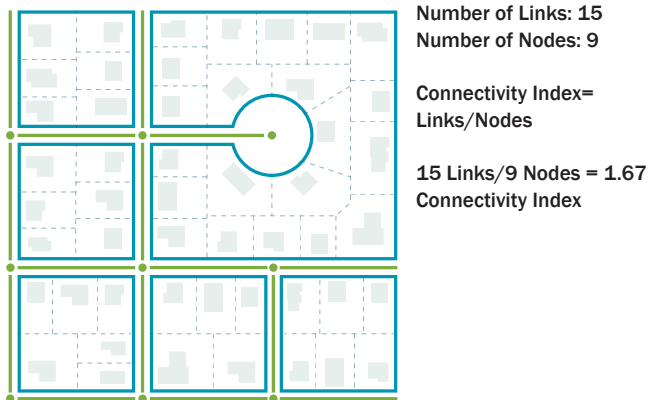


Fig. 2.7 - Example Connectivity Index Calculation

- (i) *Major Street*. A street that is collector-level or above. See Salt Lake County Code of Ordinances 14.12.010 for street classification definitions.
- (j) *Node*. An intersection or a dead end (a cul-de-sac is considered a dead end) (Figure 2.5).
- (k) *Pedestrian Pathway*. A hard-surfaced, ADA-compliant path reserved for pedestrian or other non-motorized use. May be privately owned but must be publicly accessible to meet pedestrian pathway connectivity requirements.

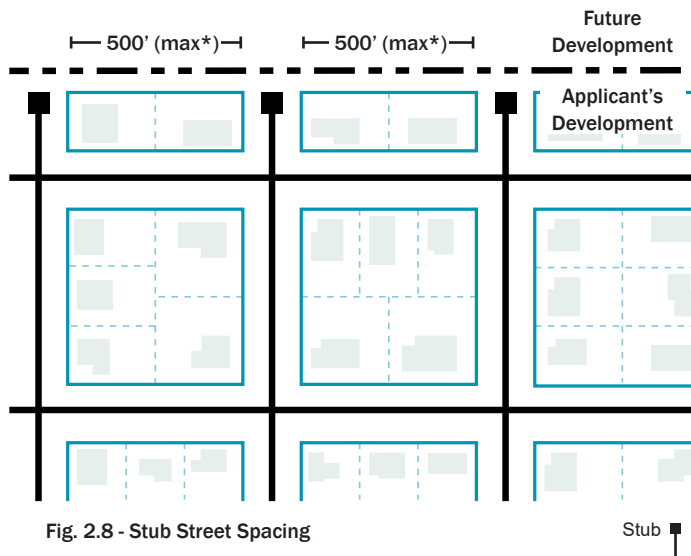


Fig. 2.8 - Stub Street Spacing

*Max Stub Street Spacing Distance Varies by Place Type. See Table 2.1.

- (l) *Right-of-Way*. A strip of land reserved for transportation, infrastructure and/or public use between the perimeter property lines of adjacent blocks.
 - (m) *Street*. A public thoroughfare including roads, highways, drives, lanes, avenues, places, boulevards or any other thoroughfare dedicated for public use that affords primary access to abutting properties.
 - (n) *Street Network*. System of interconnected streets that forms the framework for community development and transportation.
 - (o) *Stub Street*. A street that runs from an intersection to connect to a future adjacent development. (See Figure 2.6)
- (3) Metrics
- (a) *Minimum Connectivity Index*. Requires that the configuration of streets and intersections meets a threshold of connectivity. The connectivity index for an area in a Master Planned Community must be at least high as the value listed in Table 2.1 for the corresponding place type. Calculation demonstrated in Figure 2.7.
 - (b) *Maximum Block Length*. Requires that street connections occur frequently enough. No block length within the Place Type should be longer than the value listed in Table 2.1.

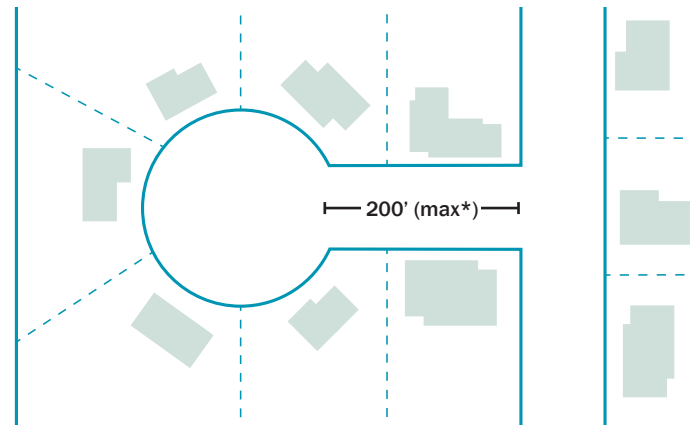


Fig. 2.9 - Cul-de-sac Length

*See section 2.4(4) for exemptions to max length.

- (c) *Maximum Pedestrian Pathway Spacing*. Requires that pedestrian pathways occur frequently enough. No pedestrian pathway spacing in Master Planned Communities should be longer than the value listed in Table 2.1 for the corresponding place type.
- (d) *Maximum Stub Street Spacing*. Requires that street stubs occur frequently enough. No Stub Street spacing in Master Planned Communities should be longer than the value listed in Table 2.1 for the corresponding place type. Demonstrated in Figure 2.8.

- (e) *Maximum cul-de-sac length.* Requires that cul-de-sacs are limited in length. Calculated by measuring or estimating the distance from the street intersection to the opening of the cul-de-sac bulb and ensuring it is no longer than the maximum listed in Table 2.1. Demonstrated in Figure 2.9.
- (f) *Maximum Major Street Spacing.* Requires that major streets occur frequently enough. Calculated by measuring or estimating the distances between all major streets and ensuring that none is longer than the value listed in Table 2.1. Demonstrated in Figure 2.8.

4. Connectivity Requirements

- (1) Existing Street Network. Olympia Hill's street network will be coordinated with and connect into the existing street network. Connecting to the existing street network takes priority over Connectivity Requirements in Table 2.1, where conflicts occur.

- (2) Adjacent Properties. Adopted plans for properties adjacent to Olympia Hills will be collected to understand any forthcoming street networks, and Olympia Hills will coordinate street connections with these properties.
- (3) Mid-Block Pedestrian Crossings. Mid-block pedestrian crossings should be utilized to cross streets where blocks are longer than 500 feet in Town Centers and Village Centers.
 - (a) Mid-block pedestrian crossings should be located in the middle third of the block face.
- (4) In the case of topography (slopes greater than 15%), existing development, or other site specific issues, the Connectivity Requirements in Table 2.1 may be adjusted as needed by the administrator pursuant to the Master Development Agreement (MDA) to better accommodate development on the site.
- (5) The Connectivity Requirements listed in Table 2.1 may be modified by the administrator on a case-by-case basis pursuant to Master Development Agreement process at Community Structure Plan (CSP) or Project Plan.
- (6) Changes to the Connectivity Requirements in Table 2.1 require County Council approval.

CONNECTIVITY REQUIREMENTS							
Place Type	Connectivity Index	Maximum Block Length (ft)*	Maximum Block Perimeter (ft)	Maximum Pedestrian Pathway Spacing (ft)	Maximum Stub Street Spacing (ft)****	Cul-de-sac Maximum Length (ft)**	Major Streets Maximum Spacing
Commercial Center	1.6	1000	3000	500	1000	N/A	0.5 mile
Town Center	1.6	500	2000	300	500	Not Allowed	0.5 mile
Village	1.6	500	2000	500	500	Not Allowed	0.5 mile
Neighborhood	1.6	800	2000	500	800	200	0.5 mile
Institutional	1.6	1000	3000	400	1000	200	0.5 mile
Open Space	N/A	N/A	N/A	500	***	100	0.5 mile

Table 2.1 - Connectivity Requirements

* Streets managed by UDOT with access management requirements or corridor agreements may create exceptions to block lengths; pedestrian pathway spacing requirements still apply.

** Every cul-de-sac must have a pedestrian pathway through to the other side of the block, where applicable.

*** Any street network in the open space should connect directly to the surrounding street network.

**** Stub street exemptions may be granted when adjacent land would not be developed due to ownership, existing water bodies, topography or utility infrastructure.

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3.0 Street Types & Design

3.0 Street Types & Design

1. Intent.

Olympia Hills intends to provide a variety of street types in order to:

- (1) Create complete streets that address all modes of travel, including pedestrian traffic, bicycle traffic, transit, and vehicular traffic.
- (2) Address all features of the street right-of-way, including sidewalks, parkways, traffic lanes, bicycle lanes, and medians.
- (3) Continue the existing logical and comprehensible system of streets and street names that result in a simple, consistent and understandable pattern of blocks, lots, and house numbers.
- (4) Provide adequate access to all lots for vehicles and pedestrians.
- (5) Create streets that are appropriate for their contexts in residential, commercial, or mixed use districts and are designed to encourage travel at appropriate volumes and speeds.
- (6) Encourage streets that respect natural features by following topography and drainage systems, rather than interrupting or dead-ending at the feature.
- (7) Create streets and public rights-of-way that result in stormwater runoff quantity reduction and improved quality of stormwater runoff.
- (8) Ensure streets are designed to be safe and walkable, no matter how many cars they accommodate, or how continuous they are across the community/region.

2. General Requirements.

All proposed streets, landscape or furnishings zones, and sidewalks shall be located in dedicated vehicular Rights-of-Way as required by this article.

- (1) Compatibility. All street types and design will comply with the applicable standards as listed in 2.2 (1).
- (2) On-Street Parking. On-street parking is encouraged, where appropriate, either through parallel or angled parking.
- (3) Street Trees. Street Trees are required on all streets, with the exception of an alley or lane street type. See 7.3 Street Trees & Streetscape Design for street tree requirements.
- (4) Bulb-outs. To shorten pedestrian crossing distances, bulb-outs should be utilized at all intersections for street types with on-street parking. Refer to Figure 3.2.
- (5) Bus Pull-Outs. Bus pull-outs should be integrated into the streetscape design in appropriate locations. Bus routes and pull-outs should be coordinated with UTA at the Community Structure Plan (CSP).
- (6) Emerging Mobility Options. Streets should be designed to accommodate ridesharing services with pull-outs in appropriate areas. Street design should also respond to future technologies as they emerge, if appropriate, with the goal of enhancing and increasing mobility.

- (7) Public Use. All streets shall be available for public use. Gated streets and streets posted as private are not permitted.

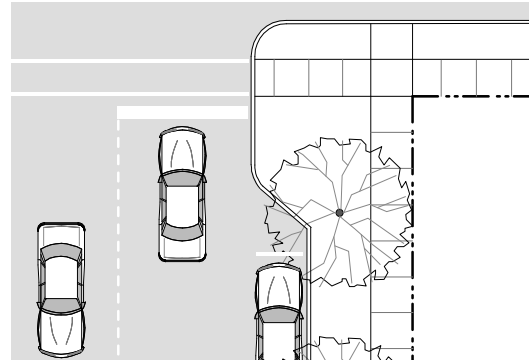


Figure 3.2. Bulb Out.

3. Typical Street Elements.

Typical elements of a vehicular right-of-way are divided into the vehicular and pedestrian realm. Each street type detailed in this article outlines which facilities are applicable. Refer to Figure 3.3: Typical Right-of-Way Elements.

- (1) Vehicular Realm. The vehicular realm is comprised of the travel lanes, bicycle lanes, and parking lanes.
- (2) Pedestrian Realm. The pedestrian realm is typically comprised of pedestrian facilities, such as sidewalk, path/trail, or off-street bicycle path, and a buffer area, consisting of a landscape zone or furnishings zone that serves to buffer pedestrians or bicyclists from the movements of higher speed vehicles in the vehicular realm.
 - (a) Landscape Zone. A landscape area between the back of curb or edge of pavement to the sidewalk in which street trees, swales, lighting, and signage may be located. Typically used adjacent to residential buildings.
 - (b) Furnishings Zone. A hardscape area that extends from the sidewalk to the back of curb, in which street trees, street furniture, lighting, and signage may be located. Typically used adjacent to commercial or office buildings.

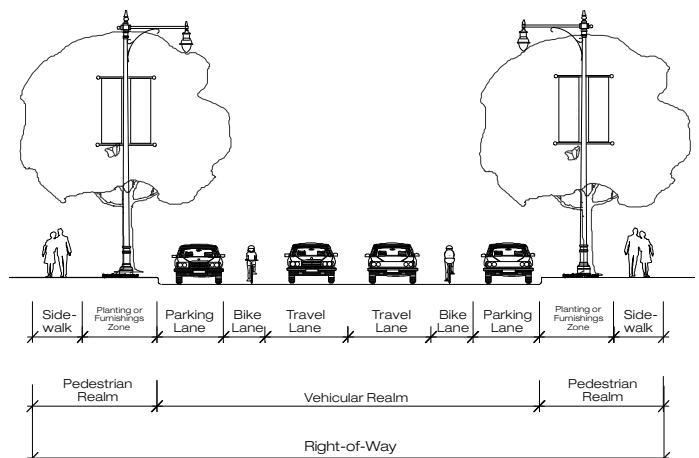


Figure 3.3. Typical Right-of-Way Elements.

4. Bicycle Facilities.

The majority of streets within Olympia Hills are intended to be designed for a slow vehicular speed, allowing bicycles to safely share travel lanes with vehicles.

For major streets that are designed for faster vehicular speeds and larger traffic volumes, the following types of bicycle accommodations are permitted in the vehicular realm per Street Type. Refer to Figure 3.4.

Locations for bike lanes will be identified in the Master Circulation System Plan during the Community Structure Plan (CSP) submittal.

- (1) **Cycle Track.** A cycle track is a separate on-road bicycle facility that is typically adjacent to, but physically separated from, vehicular traffic and parking by a barrier.
- (2) **Dedicated Bicycle Lane.** Dedicated bicycle lanes are striped lanes on the outside of the outermost travel lanes that are designated for only bicycle use. This lane occurs on both sides of the street and shall be five to six feet wide.
- (3) **Designated Shared Lane.** A designated shared lane is a lane that is shared between vehicles and bicycles. This lane is typically wider than a standard vehicular lane, minimum 13 feet, in order to accommodate both types of users, and includes a painted bicycle marker combined with a double arrow (known as a “sharrow”). This improvement occurs on both directions.
- (4) **Shared Lane.** A shared lane refers to a street that does not have bicycle lanes or a designated shared lane, but the speed and configuration of the street is such that bicycles could comfortably share lanes with traffic. The majority of streets within Olympia Hills will be designed for slower speeds that will allow bicycles to comfortably share the traffic lane.

5. Stormwater Management.

Incorporation of stormwater management best practices into the right-of-way design, such as incorporating drainage swales and slotted curbs into the Landscape Zone or permeable paving in the parking lane, will be utilized where appropriate and practicable.

6. Street Types.

Street Types defined in this section outline acceptable street configurations, and represent the most common streets that will be used in Olympia Hills. These streets should be designed using the principles and characteristics defined by each street type. Other specialty street types are encouraged to be used where appropriate, including transit streets, festival streets, pedestrian streets, and more.

- (1) The graphics provided here, illustrating each street type, are samples of recommendations and illustrate the intent for a possible configuration of that street type. By applying the standards outlined, and working with County Staff, other configurations are possible.
- (2) The dimensions used for street types may be changed up to a foot, as necessary, by working with the County to determine the most appropriate dimensions.
- (3) Corridors and streets with major transit lines, such as bus rapid transit, light rail, streetcar, or others, should create a new street type that is designed to specifically accommodate the transit mode, surrounding land-uses, and other specific factors.
- (4) The Street Types listed in Sections 3.6 - 3.11 may vary, or additional Street Types may be created by the Administrator pursuant to the Master Development Agreement process at Community Structure Plan (CSP) or Project Plan. See Section 4.1 of the Master Development Agreement.

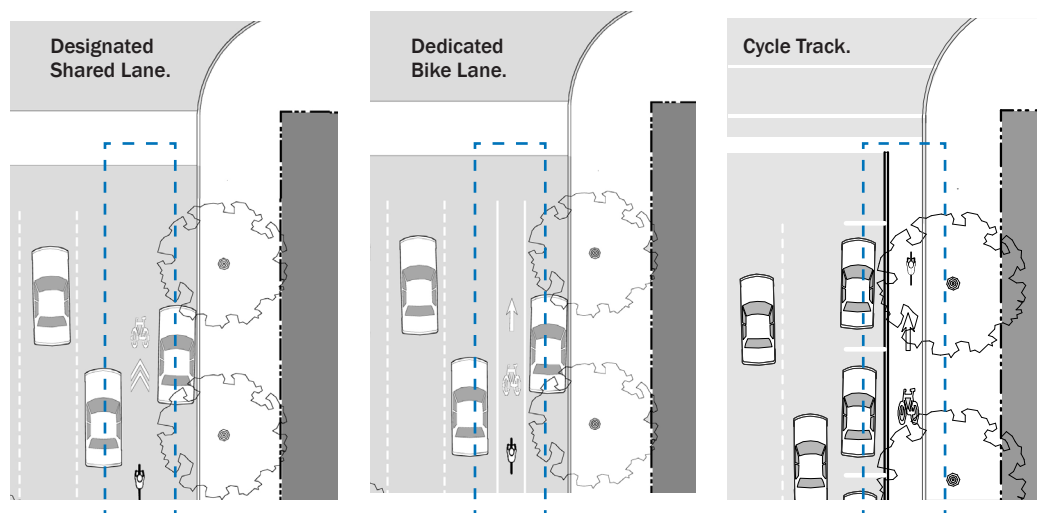


Figure 3.4. On-Street Bicycle Facilities.

3.0 Street Types & Design

3.6 Alley.

1. Intent.

The Alley is a very low capacity drive located at the rear of parcels. From the Alley, access to parking facilities, loading facilities, and service areas, such as refuse and utilities is possible without a curb cut or driveway interrupting a street type. Refer to the typical plan and section in Figure 3.6.

2. General Requirements.

Alleys shall be developed using the standards in Table 3.6.

Alley Requirements	
Typical Right-of-Way Width	20'
Vehicular Realm	
Travel Lanes	1 yield lane
Lane Width	16'
Allowable Turn Lanes	Not applicable
Parking Lanes	Not applicable
Pavement Width	Minimum 16' Maximum 20'
Median	No
Bicycle Facilities ¹	Shared
Pedestrian Realm	
Pedestrian Facilities	Shared; travel lanes are shared among drivers, pedestrians and bicyclists
Street Buffer	None required
¹ Reference 3.4 for bicycle facility types and requirements	

Table 3.6. Alley Requirements.

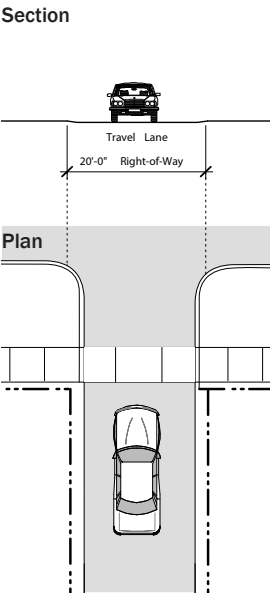


Figure 3.6. Typical Alley.

3.7 Lane

1. Intent.

A Lane is a low capacity Street Type that serves only those properties directly adjacent to it. Lanes can have designated realms for vehicular and pedestrian traffic, or these modes can share lanes given the low capacity and slow speed. Refer to the typical plan and section, Figure 3.7.

2. General Requirements.

The Lane shall be developed using the standards in Table 3.7.

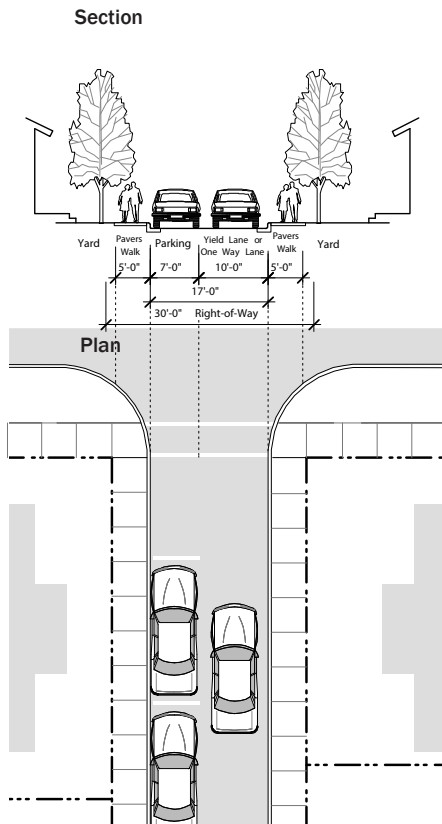


Figure 3.7. Typical Lane.

Lane Requirements	
Typical Right-of-Way Width	30'
Vehicular Realm	
Travel Lanes	1 yield lane
Lane Width	10'
Allowable Turn Lanes	Not applicable
Parking Lanes	1 parallel lane required
Pavement Width	Minimum 17' Maximum 24'
Median	No
Bicycle Facilities ¹	Shared
Pedestrian Realm	
Pedestrian Facilities	Minimum 5' wide clear sidewalk on both sides
Street Buffer	None required

¹ Reference 3.4 for bicycle facility types and requirements

Table 3.7. Lane Requirements.

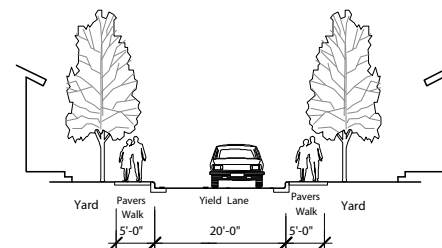


Figure 3.7 (2). Alternative Yield Lane with no Parking.

3.0 Street Types & Design

3.8 Neighborhood Street.

1. Intent.

The Neighborhood Street is a low capacity street designed for slow speeds with a standard right-of-way. It primarily serves those residences or businesses directly adjacent to it. Refer to the typical plan and section, Figure 3.8 (1).

2. General Requirements.

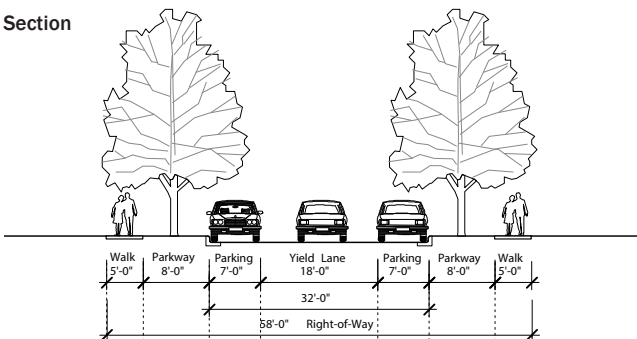
The Neighborhood Street shall be developed using the standards in Table 3.8.

Neighborhood Street Requirements	
Typical Right-of-Way Width	58'
Vehicular Realm	
Travel Lanes	1 yield lane
Lane Width	16' to 18'
Allowable Turn Lanes	Not applicable
Parking Lanes	Parallel required on one side of street
Pavement Width	32', 20' for alternative
Median	Permitted
Bicycle Facilities ¹	Shared
Pedestrian Realm	
Pedestrian Facilities	Minimum 5' wide clear sidewalk on both sides
Street Buffer	Minimum 8' wide Landscape Zone

¹ Reference 3.4 for bicycle facility types and requirements

Table 3.8. Neighborhood Street Requirements.

Section



Plan

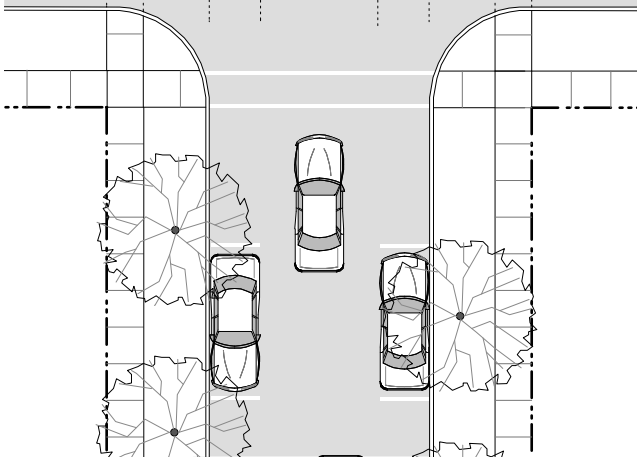


Figure 3.8 (1). Typical Neighborhood Street.

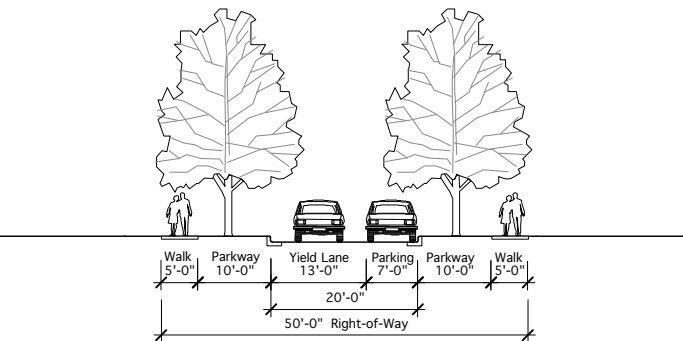


Figure 3.8 (2) Alternative 50' Right-of-Way Neighborhood Street.

3.9 Connector Street.

1. Intent.

The Connector Street is a medium capacity street for slow speeds with a standard right-of-way. It primarily serves as a through street within the Neighborhood and connects Neighborhood Streets to Avenues. Refer to the typical plan and section, Figure 3.9 (1).

2. General Requirements.

Connectors shall be developed using the standards in Table 3.9.

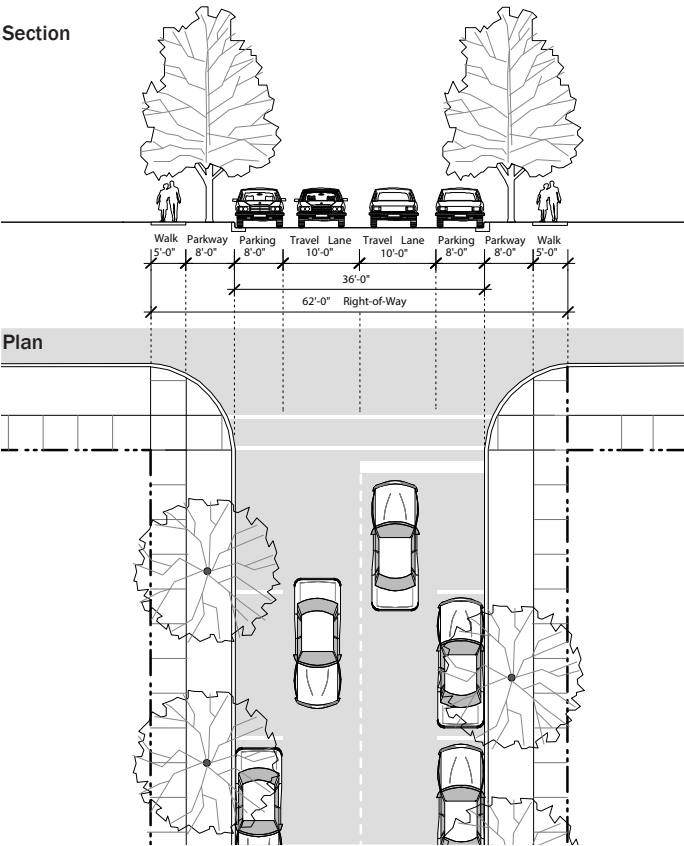


Figure 3.9 (1) . Typical Connector Street.

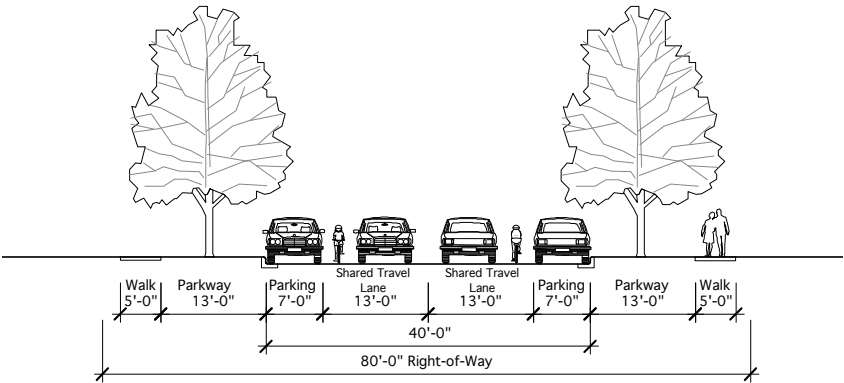


Figure 3.9 (2). Alternative 80' Shared Right-of-Way Connector.

Connector Street Requirements

Typical Right-of-Way Width 60' to 70'

Vehicular Realm

Travel Lanes 1 lane in each direction

Lane Width 10'

Allowable Turn Lanes Right permitted in place of parking at intersections with Avenue; left only with median alternative

Parking Lanes Parallel required on both sides of street.

Pavement Width 36'; 40' for alternative

Median Permitted with 80' or greater right-of-way.

Bicycle Facilities ¹ Shared

Pedestrian Realm

Pedestrian Facilities Minimum 5' wide clear sidewalk on both sides

Street Buffer Minimum 8' wide planting zone or furnishings zone; adjacent to Residential Districts, Open Space Districts, the planting zone is required

¹ Reference 3.4 for bicycle facility types and requirements

Table 3.9. Connector Requirements.

3.0 Street Types & Design

3.10 Avenue.

1. Intent.

The Avenue is a medium to high capacity street for higher speeds with a wider right-of-way. It serves all types of development and provides crosstown connections. Refer to the typical plan and section in Figure 3.10 (1).

2. General Requirements.

Avenues shall be developed using the standards in Table 3.10.

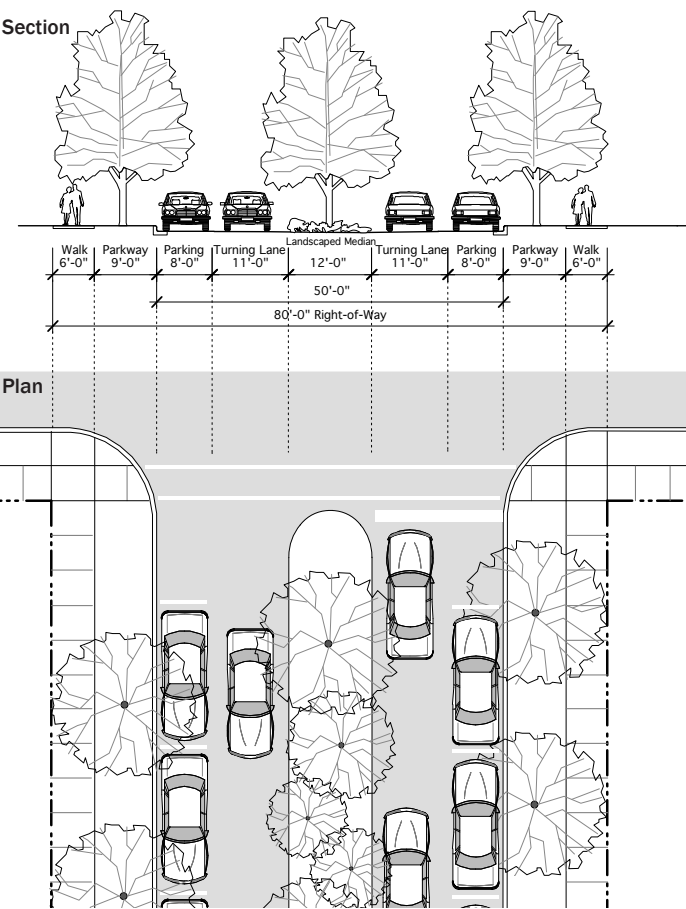


Figure 2.8 (1). Typical Avenue.

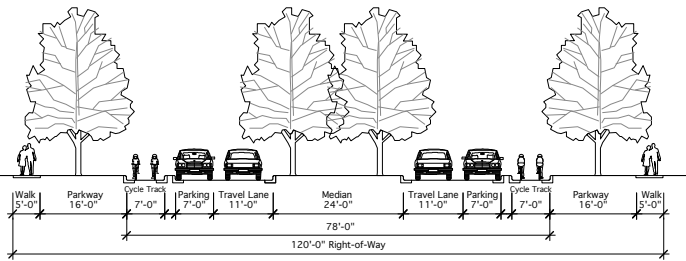


Figure 3.10 (2). Alternative 120' with Median & Cycle Track Connector.

Avenue Requirements	
Typical Right-of-Way Width	66' to 80'
Vehicular Realm	
Travel Lanes	1 lane in each direction
Lane Width	11' or 12' with truck traffic
Allowable Turn Lanes	Right permitted in place of parking at intersections with Connector; left only with median.
Parking Lanes	Parallel required on both sides of street; angled permitted for alternative.
Pavement Width	50'; 78' for alternative
Median	Permitted with 80' or greater right-of-way.
Bicycle Facilities ¹	Shared; dedicated bike lane with alternative.
Pedestrian Realm	
Pedestrian Facilities	Minimum 5' wide clear sidewalk on both sides
Street Buffer	Minimum 9' wide planting zone or furnishings zone; adjacent to Residential Districts, Open Space Districts, the planting zone is required
¹ Reference 3.4 for bicycle facility types and requirements	

Table 3.10. Avenue Requirements.

3.11 Boulevard.

1. Intent.

The Boulevard is a high capacity street for higher speeds with a wider right-of-way. It serves all types of development and provides crosstown connections. Bicycle facilities should generally be included on Boulevard street types to provide dedicated bikeways on major corridors. Refer to the typical plan and section, Figure 3.11 (1).

2. General Requirements.

Boulevards shall be developed using the guidelines in Table 3.11.

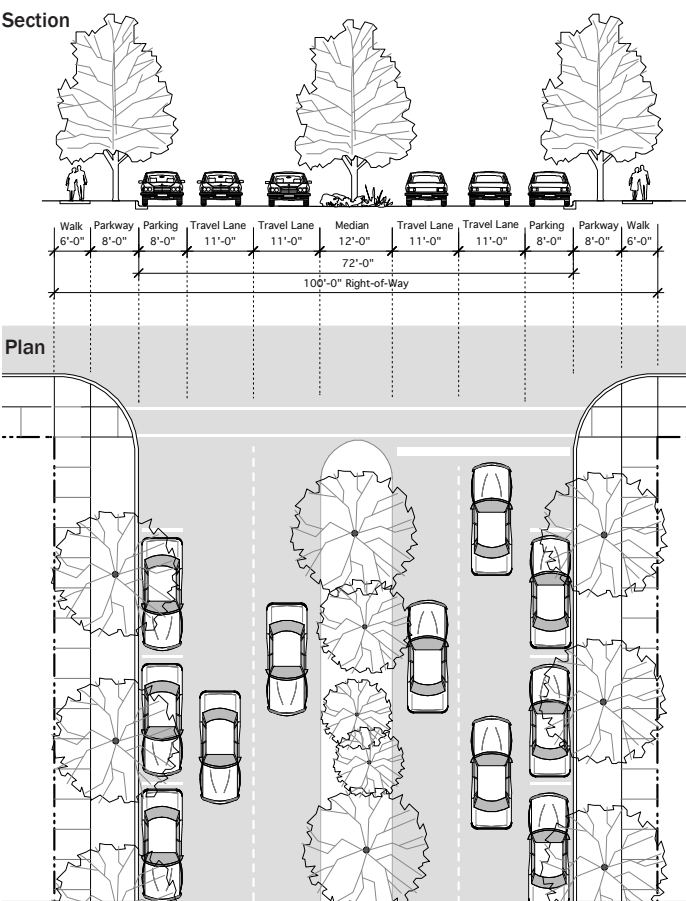


Figure 3.11 (1). Typical Boulevard.

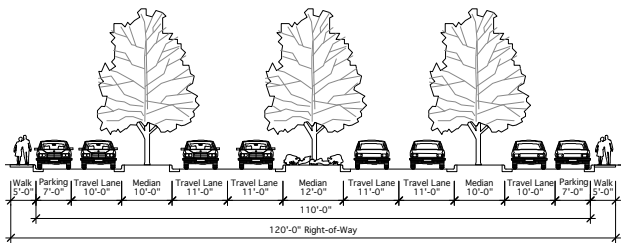


Figure 3.11 (2). Alternative 120' Right-of-Way with Local Lanes Boulevard.

Boulevard Requirements

Typical Right-of-Way Width

100'; 120' alternative

Vehicular Realm

Travel Lanes

up to 2 lanes each direction

Lane Width

11' or 12' with truck traffic

Allowable Turn Lanes

Permitted in place of parking and bulb out at intersections

Parking Lanes

Both sides, parallel only

Pavement Width

72'; 102', 120' alternatives

Median

Permitted, minimum 9' wide, preferably 12' wide

Bicycle Facilities ¹

Designated Shared; Cycle Track alternative

Pedestrian Realm

Pedestrian Facilities

Minimum 5' wide clear sidewalk on both sides with bulbouts

Buffer

Minimum 5' wide landscape zone or furnishings zone, both sides; adjacent to Residential Districts, Open Space Districts, the planting zone is required

¹ Reference 3.4 for bicycle facility types and requirements

Table 3.11. Boulevard Requirements.

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4.0 Parks, Trails & Open Space

4.0 Parks, Trails & Open Space

1. Intent.

Olympia Hills intends to provide Parks, Trails and Open Space as an amenity that promotes physical and environmental health within the community and to provide each household with access to a variety of active and passive Parks, Trail and Open Spaces. This also includes providing connections to existing and proposed trails, including trails into Butterfield Canyon.

2. General Requirements.

- (1) Access. All Parks, Trails and Open Spaces shall provide public access from a vehicular right-of-way.
- (2) Location. Parks and Open Spaces shall be platted as a lot or, with permission of the County, may be located within the right-of-way.
- (3) Ownership and Maintenance. Olympia Hills should use a variety of strategies to manage and maintain open space, including: public/private partnerships, intergovernmental agreements, community associations, and other arrangements.
- (4) Olympia Hills parks and open space system shall afford residents with parks, open space, and trails through various sizes of parks, including regional parks, community parks, and neighborhood parks, distributed throughout the project area.
- (5) A regional park shall be planned to accommodate transit stops, and may include natural resources such as creeks.
- (6) Smaller community and neighborhood parks and recreation facilities shall be distributed through the project to provide park facilities within walking proximity of residents. Community parks shall be located near transit stops and/or recreation facilities. Smaller neighborhood parks are intended to be primarily focused on serving walk-to or bike-to recreation needs and will often be located adjacent to schools.
- (7) Parks, Open Space, and Common Areas shall be phased based on the timing of the various Project Plans.
- (8) Connections to existing or planned trails or parks and open spaces shall be made when the park or open space abuts an existing or planned Trail right-of-way or other civic open space or park. Refer to the corresponding plans by the County and adjacent Cities and/or Townships.
- (9) Community Structure Plan and Project Plan submittals must include the following:
 - (a) Parks Plan.
 - (i) Community Structure Plan. Must show general location and size of planned parks.
 - (ii) Project Plan. Must show specific location and size of planned parks.
 - (b) Parks Walking Distance Plan. Must show residential lots within walking distance of each Park.
 - (c) Trails Plan. Must show trail connections to key destinations such as schools, parks and other community facilities, the intended uses/modes of travel for each segment of trail and the material and width of trails.
 - (d) Open Space Plan.
 - (i) Community Structure Plan. Must show general location, size and function of open spaces.

- (ii) Project Plan. Must show specific location, size and function of open spaces.

- (e) Project-level Maintenance & Management Plan. Must designate the parties responsible for maintenance, the maintenance methods and budget, and define the areas to be maintained.

3. Parks.

A Park is defined as a non-commercial, not-for-profit public facility for general community use. Parks include programming and facilities that support active and passive recreation, and may be publicly or privately owned. Commercial uses are allowed inside parks with the approval of County Staff. Qualifying uses can be found in Table 4.1.

Qualifying Uses for Parks and Open Space

Use	Meets Park Requirements	Meets Open Space Requirements
Trails within Parks	Yes	Yes
Trails in Open Space	No	Yes
Ball courts	Yes	Yes
Nature Preserve	No	Yes
Farm or Agricultural Lands	No	Yes
Pavilions	Yes	Yes
Stormwater for Parks	Yes	Yes
Stormwater for Development	Yes ^a	Yes
Stormwater in Common Areas	Yes ^a	Yes
Parking for Parks	Yes	Yes
Public Plazas	Yes	Yes
Public Courtyards	Yes	Yes
Landscape around Private Buildings	No	No
Recreation Center Buildings	Yes	Yes
Agriculture Buildings	No	No
Rooftop Gardens	No	Yes ^b
Playgrounds	Yes	Yes
Restricted Common Areas for Developments	No	Yes
Amphitheater	Yes	Yes
Sports Fields	Yes	Yes
Community Pools & Pool Areas	Yes	Yes
Institutional Green Space	Yes ^c	Yes
Community Garden	Yes	Yes

a. See Section 4.6

b. See Section 4.4 (2)

c. See Section 4.3 (6)

* Additional Park Uses may be approved by appointed County Administrator with input provided by Parks and Recreation Department, or as specified in Community Structure Plan (CSP) or Project Plan.

Table 4.1. Qualifying Park and Open Space Uses

- (1) The required amount of Park Space shall be 5 acres per 1,000 residents. Population planning for the project is 3.6 people per household.
 - (a) Changes to the required amount of Park Space in subsection 4.3 (1) requires County Council approval.
- (2) There shall be one Regional Park that is at least 50 acres in size. It shall be dedicated to the County. The County shall be responsible for developing it according to County parks standards, but the County may do so when it determines at its sole discretion. The County shall be responsible for maintaining it, both before and after it is developed. See SLCO Parks & Recreation Facilities Master Plan for County park standards.
 - (a) Changes to the dedication of a Regional Park in subsection 4.3 (2) requires County Council approval.
- (3) There shall be at least four Community Parks that are each at least 10 acres in size and comprise a total of at least 40 acres. These shall be dedicated to the County but shall become property of the successor jurisdiction when, or if, the project annexes or incorporates. Developer shall be responsible for developing each of these according to County parks standards. The Municipal Services District shall be responsible for maintaining these, both before and after they are developed, which shall be commemorated via a written agreement between the County and District.
 - (a) Changes to the requirement for Community Parks in subsection 4.3 (3) requires County Council approval.
- (4) All dwelling units shall have at least one Park no greater distance than one-quarter (1/4) mile away as measured from property lines. Parks shall be planned and phased in such a way that residents shall have a completed park no greater than one-quarter (1/4) mile away from their home within two years of completion of their home.
 - (a) Changes to this standard in subsection 4.3 (4) requires County Council approval.
- (5) There shall be local parks (typically less than 5 acres in size) in a number determined by Developer but comprising at least 20% of total park space. Private parks shall be developed and maintained privately. Private parks shall be designed and built according to the park types found in Sections 4.8 - 4.14.
- (6) Portions of the Utah State University property may count toward the required amount of Park Space outlined in this Section 3 to the extent that the owner of Institutional lands and the County enter into a long-term agreement satisfactory to both parties wherein those portions of Industrial lands are open and available to the public for programmable use at no charge on a regular prescribed basis.
- (7) All parks referenced shall be open to the public.
- (8) All park design and construction shall meet County park construction standards.

4. Open Space.

Open Space is defined as land preserved for the purpose of conservation, preservation, agriculture, resource enhancement, recreation, enhancing value to the public of adjacent parks or

preserves, or otherwise providing a buffer to adjacent properties. Qualifying uses can be found in Table 4.1.

- (1) The required amount of Open Space shall be 20% of the gross Master Planned Community land area. All park land area, as described in 4.3, may be counted toward the Open Space requirement.
 - (a) Changes to this standard in subsection 4.4 (1) requires in County Council approval.
- (2) Fifty (50%) percent of roof top garden space may be applicable to Open Space square footage requirements. The roof top garden space must be accessible to residents of the project or contain permanent plant material to qualify as open space.
- (3) Stream buffers shall be a minimum of 50 feet from top of bank or high water mark on both sides of the waterway.
- (4) Agricultural fields may count towards Open Space requirements, but buildings, small garden areas, and impervious surfaces shall not count toward requirements.

5. Trails.

A Trail is defined as a path physically separated from motor vehicle traffic by open space, landscape or a barrier for non-motorized travel such as walking, jogging, biking, skateboarding or other similar modes of transportation. Trail systems should work with the street network and sidewalk system to enhance community connectivity.

- (1) Trails should be implemented in existing stream corridor buffers, where possible. These trails should connect to the street network and sidewalk system.
- (2) Trails should connect Olympia Hills with major natural assets, such as Butterfield Canyon.
- (3) Developer shall dedicate to the County a trail corridor along Butterfield Canyon Creek of at least a 30' width that can accommodate at least a 12' wide asphalt paved path with 1.5' paved shoulders on either side. The remainder of the corridor can remain in a natural (undisturbed) state. The precise location of the trail corridor shall be determined in the Community Structure Plan. This trail would be located within the 50' stream buffer as specified in 4.4 (3). The County shall be responsible for developing this Butterfield Creek regional trail according to County trail standards, but the County may do so when it determines at its sole discretion. Alternatively, Developer may develop the trail in coordination with and approval by the County if doing so is beneficial to Developer's project or development goals. County shall be responsible for maintaining this regional trail, both before and after it is developed.
- (4) Whenever practical, non-regional trails should connect the Regional Park to the Community parks. Non-regional trails shall be privately maintained.
- (5) A connected street network shall take priority over a continuous trail system, where any conflicts exist. See Chapter 2.0 Street Network for street network requirements.
- (6) Trails may run parallel to streets where they should either replace the sidewalk, or add an additional pathway. To be considered a

4.0 Parks, Trails & Open Space

trail, the pathway must be a paved 12 foot wide path, with at least 8 feet of landscape area on the street side of the pathway.

- (7) All trails shall be open to the public.
 - (a) Changes to this standard in subsection 4.5 (7) requires County Council approval.
- (8) Trails shall have minimal driveway crossings. For residential areas with trails parallel to streets the garages and driveways shall be located at the rear of homes and accessed via alleys.

6. Stormwater in Parks & Open Spaces.

- (1) At the County's absolute discretion, developed stormwater retention facilities may count towards the Park Space required in section 3 of this chapter. The Administrator (as defined in the Master Development Agreement) shall make all such determinations, after consultation with the County Parks and Recreation Division and the County Department of Public Works.
- (2) To be requested by Master Developer and considered by the County whether to approve as required Park Space, stormwater retention facilities must at minimum be engineered in accordance with industry and County standards. Stormwater facilities shall be designed as formal or natural amenities with additional uses, such as amphitheater, pond, creek, dry riverbed, rain gardens, and more. Stormwater facilities shall not be located in recreational facilities such as fields, courts and playgrounds, and designed in accordance with the Salt Lake County 2015 Parks & Recreation Facilities Master Plan.
- (3) If determined to be required Park Space, stormwater retention facilities that fail (as determined by the County in accordance with County and industry standards) shall be the responsibility of Master Developer to repair or replace in accordance with County and industry standards, and failure to do so will result in a Default of the Master Development Agreement, and the facilities will no longer count as required Park Space.
- (4) Developed stormwater retention facilities may count towards no more than 10% of the total required Park Space in Section 3. No more than 25% of an individual park's surface area may be used as stormwater detention and count toward the required Park Space in Section 3. Subsurface detention facilities are encouraged and are not subject to the limitations described in this subsection (4).

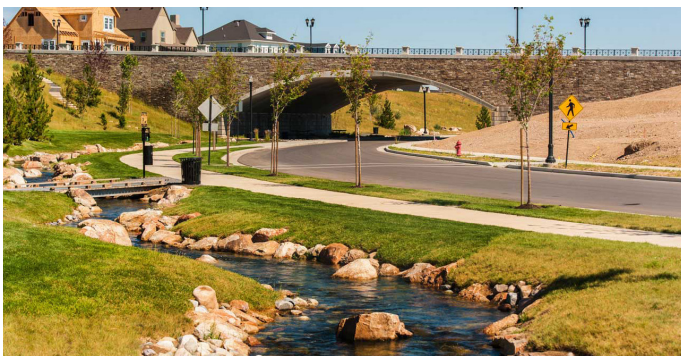


Figure 4.1 (1). Stormwater Park Feature Precedent Image

7. Definition of Requirements.

The following further explains or defines the requirements included in Tables 4.8 (1) through 4.14 (1) for each Park/Open Space type. Refer to each table for the specific requirements of each Open Space type.

- (1) Size. (See Figure 4.2)
 - (a) Minimum Size. The minimum size of the Park/Open Space Type is measured within the parcel lines of the property.
 - (b) Maximum Size. The maximum size of the Park/Open Space Type is measured within the parcel lines of the property.
 - (c) Minimum Dimension. The minimum length or width of the Park/Open Space type, as measured along the longest two straight lines intersecting at a right angle defining the maximum length and width of the lot.
- (2) Minimum Percentage of Vehicular Right-of-Way Frontage Required. The minimum percentage of the civic Park/Open Space perimeter, as measured along the outer parcel line, that shall be located directly adjacent to a vehicular right-of-way, excluding alley frontage. This requirement provides access and visibility to the Open Space.
- (3) Adjacent Parcels. Parcels directly adjacent to, as well as across a street from a Park/Open Space.
 - (a) Frontage Orientation of Adjacent Parcels. The preferred orientation of the adjacent parcels' frontages to the civic Open Space. Front, corner side, side, and rear refers to the property line either adjacent to the Park/Open Space or facing the Park/Open Space across the street.
- (4) Improvements. The following types of development and improvements may be permitted on a Park/Open Space Type.
 - (a) Designated Sports Fields Permitted. Sport fields, ball courts, or structures designated for one or more particular sports including, but not limited to, baseball fields, softball fields, soccer fields, basketball courts, football fields, tennis courts, pickle ball courts, climbing walls, and skate parks are permitted.
 - (b) Playgrounds Permitted. Playgrounds include a defined area with play structures and equipment typically for children, such as slides, swings, climbing structures.

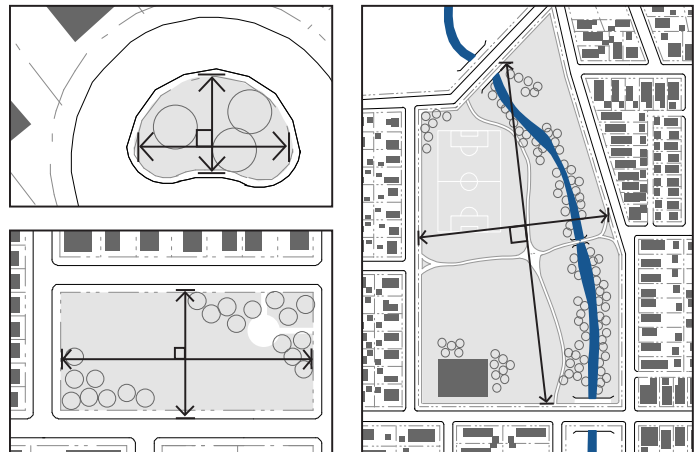


Figure 4.2. Examples of Measuring the Minimum Dimension of Open Space Types.

- (c) Fully Enclosed Structures Permitted. Fully enclosed structures may include such uses as park offices, maintenance sheds, community centers, and rest rooms.
 - (i) Maximum Area. For some civic Open Space types, fully enclosed structures are permitted, but limited to a maximum building coverage as a percentage of the Open Space area.
 - (ii) Semi-Enclosed Structures. Open-air structures, such as gazebos, are permitted in all Open Space types.
- (d). Maximum Impervious and Semi-Pervious Surface Permitted. The amounts of impervious and semi-pervious coverage are provided separately to allow an additional amount of semi-pervious surface, such as permeable paving, above the Impervious surfaces permitted, including, but not limited to, parking facilities, driveways, sidewalks, paths, and structures as permitted.
- (e) Minimum number of Parks Amenities. The minimum number of amenities that must be included in each park type. Table 4.3 contains a list of park amenities that could be included in a park. This list is not exhaustive, and other thoughtful and creative amenities are encouraged to be used, as approved by County Staff.

Qualifying Parks Amenities
Playground
Restroom
Drinking Fountain
Dog Park
Sports Field (Soccer, Softball, etc.)
Sports Court (Tennis, Pickleball, Basketball, etc.)
Pavilion
Gazebo
Interactive Water Feature (Splash Pad, etc.)
Decorative/Ornamental Water Feature
Amphitheater
Pond
Jogging/Walking Path
BBQ Grills
Picnic Tables
Community Garden
Memorial
Fitness Equipment
Skate Park (or Skateable Features)
BMX Track

Table 4.3. Qualifying Park Amenities



Figure 4.8 (1). Typical Plaza.

4.8 Plaza.

1. Intent.

To provide a formal Park or Open Space of medium scale to serve as a gathering place for civic, social, and commercial purposes. The Plaza may contain a greater amount of impervious coverage than any other Open Space Type. Special features, such as fountains and public art installations, are encouraged.

2. Plaza Requirements

(1) Dimensions

Minimum Size (acres)	0.25
Maximum Size (acres)	2
Minimum Dimension (feet)	80'
Minimum % of Vehicular ROW Frontage Required	25%

(2) Adjacent Parcels

Frontage Orientation of Adjacent Parcels	Front or Corner Side
--	----------------------

(3) Improvements

Designated Sports Fields Permitted	Not permitted
Playgrounds Permitted	Not permitted
Fully Enclosed Structures Permitted	Permitted; maximum 10% of area
Maximum Impervious + Semi-Pervious Surface	minimum: 40% maximum: 80% + 10%
Minimum Number of Park Amenities	1

(4) Additional Design Requirements

- (a) Minimum Building Frontage. At least 50% of the plaza's perimeter that does not front on vehicular right-of-way shall be lined by building frontages.
- (b) Fully Enclosed Structures Permitted. Fully enclosed structures are permitted, and are allowed to cover a maximum of 10% of the total area of the plaza.

Table 4.8. Plaza Requirement.



Figure 4.8 (2). Plaza Example.

4.0 Parks, Trails & Open Space

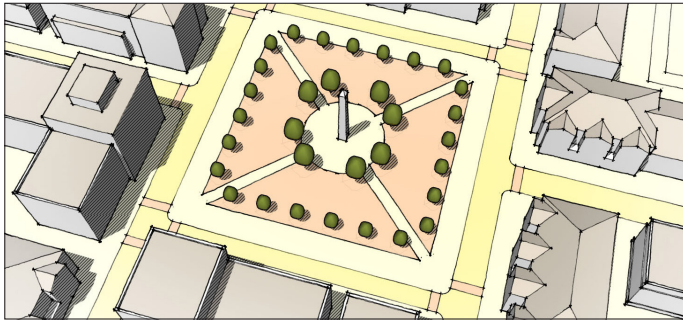


Figure 4.9 (1). Typical Square.

4.9 Square.

1. Intent.

To provide a formal Park or Open Space of medium scale to serve as a gathering place for civic, social, and commercial purposes. Squares are rectilinear in shape and are bordered on all sides by a vehicular right-of-way, which together with building facades creates its definition.

2. Square Requirements	
(1) Dimensions	
Minimum Size (acres)	0.25
Maximum Size (acres)	5
Minimum Dimension (feet)	80'
Minimum % of Vehicular ROW Frontage Required	25%
(2) Adjacent Parcels	
Frontage Orientation of Adjacent Parcels	Front or Corner Side
(3) Improvements	
Designated Sports Fields Permitted	Not permitted
Playgrounds Permitted	Not permitted
Fully Enclosed Structures Permitted	Permitted; maximum 5% of area
Maximum Impervious + Semi-Pervious Surface	40% + 20%
Minimum Number of Park Amenities	1
(4) Additional Design Requirements	

(a) Fully Enclosed Structures Permitted. Fully enclosed structures are permitted, and are allowed to cover a maximum of 10% of the total area of the Square.

Table 4.9. Square Requirement.



Figure 4.9 (2). Square Example.



Figure 4.10 (1). Typical Small Park Layout.

4.10 Small Park.

1. Intent.

To provide informal, small to medium scale active or passive recreation for neighborhood residents within walking distance, mainly fronted by streets.

2. Small Park Requirements	
(1) Dimensions	
Minimum Size (acres)	1
Maximum Size (acres)	5
Minimum Dimension (feet)	45'
Minimum % of Vehicular ROW Frontage Required	25%
(2) Adjacent Parcels	
Frontage Orientation of Adjacent Parcels	Rear, Front or Corner Side
(3) Improvements	
Designated Sports Fields Permitted	Not permitted
Playgrounds Permitted	Permitted
Fully Enclosed Structures Permitted	Not permitted
Maximum Impervious + Semi-Pervious Surface	20% + 15%
Minimum Number of Park Amenities	2

Table 4.10. Commons/Green Requirements.



Figure 4.10 (2). Small Park Example.



Figure 4.11 (1). Typical Pocket Park Layout.

4.11 Pocket Park.

1. Intent.

To provide small scale, primarily landscaped active or passive recreation and gathering space for neighborhood residents within walking distance.

2. Pocket Park Requirements	
(1) Dimensions	
Minimum Size (acres)	0.10
Maximum Size (acres)	1
Minimum Dimension (feet)	None
Minimum % of Vehicular ROW Frontage Required	25%
(2) Adjacent Parcels	
Frontage Orientation of Adjacent Parcels	Any
(3) Improvements	
Designated Sports Fields Permitted	Not permitted
Playgrounds Permitted	Permitted
Fully Enclosed Structures Permitted	Not permitted
Maximum Impervious + Semi-Pervious Surface	30% + 10%
Minimum Number of Park Amenities	1

Table 4.11. Pocket Park Requirements.



Figure 4.11 (2). Pocket Park Example.

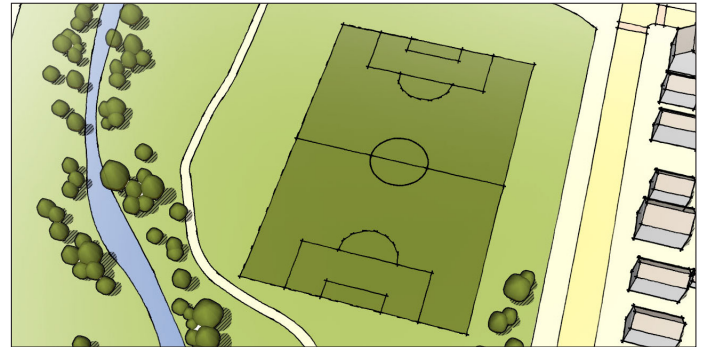


Figure 4.12 (1). Typical Community Park.

4.12 Community Park.

1. Intent.

To provide informal active and passive large-scale recreational amenities to local residents and the greater region. Parks have primarily natural plantings and are frequently created around an existing natural feature such as a water body or stands of trees. Parks may include water features. Restrooms are required.

2. Community Park Requirements	
(1) Dimensions	
Minimum Size (acres)	5
Maximum Size (acres)	None
Minimum Dimension (feet)	100'
Minimum % of Vehicular ROW Frontage Required	30%; up to 5 acres; 20% over 5 acres
(2) Adjacent Parcels	
Frontage Orientation of Adjacent Parcels	Any
(3) Improvements	
Designated Sports Fields Permitted	Permitted
Playgrounds Permitted	Permitted
Fully Enclosed Structures Permitted	Permitted, minimum 5 acre Park required
Maximum Impervious + Semi-Pervious Surface	20% + 10%
Minimum Number of Park Amenities	5
(4) Additional Design Requirements	

- (1) Vehicular Right-of-Way Frontage of Parks Less Than 5 Acres. At least 30% of the park shall continuously front on a vehicular right-of-way.
- (2) Vehicular Right-of-Way Frontage of Parks Larger Than 5 Acres. At least 20% of the park shall continuously front on a vehicular right-of-way.

Table 4.12. Park Requirements..



Figure 4.12 (2). Community Park Example.

4.0 Parks, Trails & Open Space

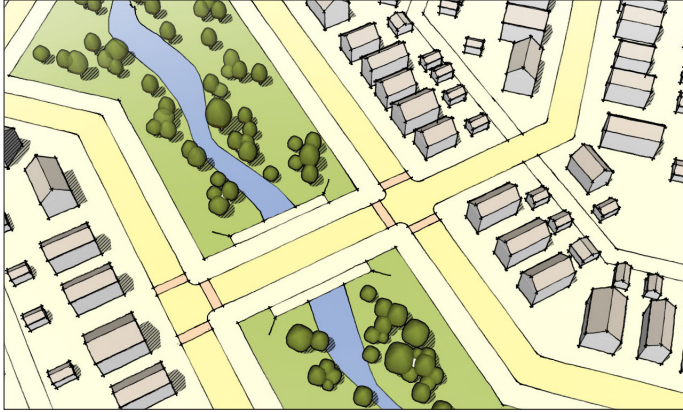


Figure 4.13 (1). Typical Greenway.

4.13 Greenway.

1. Intent.

To provide informal, primarily natural linear open spaces that serve to enhance connectivity between open space types and other uses. Greenways are linear open spaces that often follow a natural feature, such as a river, stream, ravine, or man-made feature, such as a vehicular right-of-way.

2. Greenway Requirements	
(1) Dimensions	
Minimum Size (acres)	1
Maximum Size (acres)	None
Minimum Dimension (feet)	30'; recommended minimum average width 50'
Minimum % of Vehicular ROW Frontage Required	0%; 1 access point required per quarter mile of length, minimum 20' width
(2) Adjacent Parcels	
Frontage Orientation of Adjacent Parcels	Any
(3) Improvements	
Designated Sports Fields Permitted	Permitted
Playgrounds Permitted	Permitted
Fully Enclosed Structures Permitted	Not permitted
Maximum Impervious + Semi-Pervious Surface	20% + 10%
Minimum Number of Park Amenities	N/A

Table 4.13. Greenway Requirements.



Figure 4.13 (2). Greenway Example.



Figure 4.14 (1) Regional Park

4.14 Regional Park.

1. Intent.

To provide informal active and passive large-scale recreational amenities to local residents and the greater region. Regional parks contain various park amenities in greater numbers and greater variety than local and city parks such as open space, trails, sports fields, sports courts, swimming pools, rec centers, disc golf and skate parks.

2. Regional Park Requirements	
(1) Dimensions	
Minimum Size (acres)	50
Maximum Size (acres)	None
Minimum Dimension (feet)	100'
Minimum % of Vehicular ROW Frontage Required	0%; 1 access point required per quarter mile of length, minimum 20' width
(2) Adjacent Parcels	
Frontage Orientation of Adjacent Parcels	Any
(3) Improvements	
Designated Sports Fields Permitted	Permitted
Playgrounds Permitted	Permitted
Fully Enclosed Structures Permitted	Permitted, Minimum 5 acre Park required.
Maximum Impervious + Semi-Pervious Surface	20% + 10%
Minimum Number of Park Amenities	N/A

Table 4.14. Regional Park Requirements.



Figure 4.14 (2). Regional Park Example.

5.0 Site Design

5.0 Site Design

1. Intent.

Olympia Hills intends to promote and encourage site layouts that balance the needs of pedestrians, drivers and cyclists while creating a good environment for individuals and community activities such as shopping, eating, recreation, community events and socializing.

The site standards outlined in this section are designed to meet the following set of goals.

- (1) Create sites that provide mobility throughout the site for pedestrians, bicyclists, transit and automobiles.
- (2) Promote sense of place and identity
- (3) Foster commercial success and positive pedestrian and community experiences
- (4) To encourage urban design best practices
- (5) To promote livability

2. Designate Primary Streets.

The intent of the Primary Street designation is to develop a network of streets in the Town Center and Village Centers with continuous building frontage and no or limited vehicular access to reduce conflicts between pedestrians and vehicular traffic. Primary Streets will be designated at the Community Structure Plan (CSP).

- (1) Each Town Center and Village Center shall designate two or more Primary Streets. For centers with only two Primary Streets, the streets should be perpendicular to each other.
 - (a) Changes to this standard in subsection 5.2 (1) requires County Council approval.
- (2) Lots with two Primary Street frontages shall consult with County Staff to determine which street frontage warrants primary designation and the front of the lot.

3. Primary Street Frontage Requirements.

The street frontage requirements are used to create a continuous street wall along Primary Streets in Town Centers and Village Centers. Street frontage calculations may be done by parcel, or by block face, depending on whichever method is most appropriate.

- (1) Street Frontage by Block Face. Refer to Figure 5.1. The sum of all building widths shall be divided by the length of the block face. The width of any public open space may be excluded from length of the block face, for calculation purposes.
- (2) Street Frontage by Parcel. Refer to Figure 5.2. The width of the building shall be divided by the width of the parcel to determine the percentage of building frontage.
- (3) Building Street Frontage requirements are listed in Table 5.1.
 - (a) Changes to these standards in subsection 5.3 (3) require County Council approval.

Primary Street Frontage Requirements

Place Type	Town Center	Village Center
Street Frontage Requirement	80%	70%

Table 5.1. Street Frontage Requirements

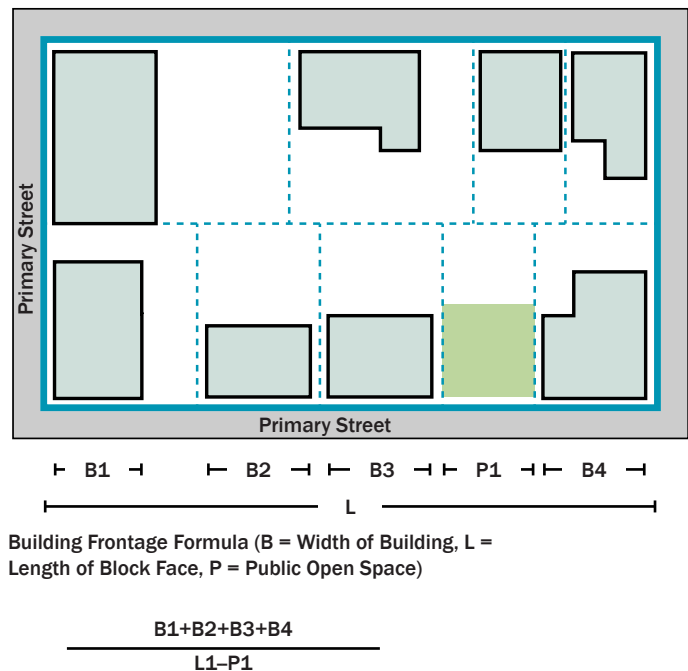


Figure 5.1 Building Frontage Measurement by Block Face

4. Active Ground Floor Uses on Primary Streets

Primary streets need active ground floor uses along them in order to activate the pedestrian environment, which is the intent of the primary street designation.

- (1) 70% of ground floor uses on a designated primary street shall be an active use.
 - (a) Active ground floor use shall have a minimum of 30 foot depth.
 - (b) Active uses may include a variety of non-residential uses such as retail, restaurant, office, lobby space, gym, and more, as approved by the County.
 - (c) Residential uses shall not count toward the 70% active ground floor use requirement. Residential uses are allowed in the remaining 30%, but shall have entrances to individual units on the ground floor facing the Primary Street.
 - (d) Changes to the standards in this section 5.4 requires County Council approval.

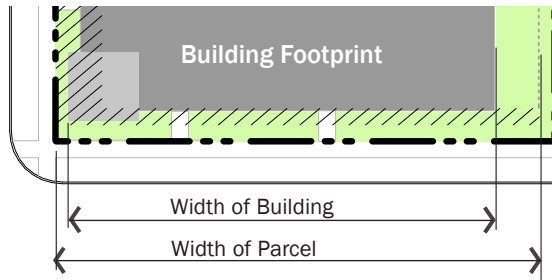


Figure 5.2. Building Frontage Measurement by Parcel

5. Setbacks.

Building Setbacks will be used to enhance the pedestrian environment on the street by placing buildings at an appropriate distance from the sidewalk. Setbacks will vary by street type and adjacent land-use.

- (1) All setback areas must contain either landscape, trees, patio space, or sidewalk space.
- (2) Commercial buildings should have a setback varying between zero feet (0') and six feet (6').
- (3) Multi-family buildings should have a setback varying between zero feet (0') and ten feet (10').
- (4) Attached single-family houses, such as townhomes, shall have a setback varying between zero feet (0') and twenty feet (20').
- (5) Detached single-family houses shall have a landscaped setback varying between seven feet (7') and twenty feet (20').
- (6) Exceptions. Setback distances may be increased on major streets, or due to topography, utilities or other natural features, as approved by the County.

6. Connectivity Requirements.

- (1) Cross Access. All commercial development should be designed to allow for cross-access to adjacent properties to encourage shared parking and shared access points on public or private streets, unless otherwise specified. When cross-access is deemed impractical by the County on the basis of topography, the presence of natural features, or vehicular safety factors, this requirement may be waived provided that appropriate bicycle and pedestrian connections are provided between adjacent developments or land uses.
- (2) Alley Standards
 - (a) Where Alleys can be accommodated, a continuous network of Alleys shall be planned to connect the service side of commercial and/or other buildings.
 - (b) A continuously connected rear or side circulation aisle within a parking area may provide an acceptable alley alternative where exceptional circumstances or existing conditions are present. Cross access easements between parking areas shall be provided and coordinated with neighboring land owners and the County.

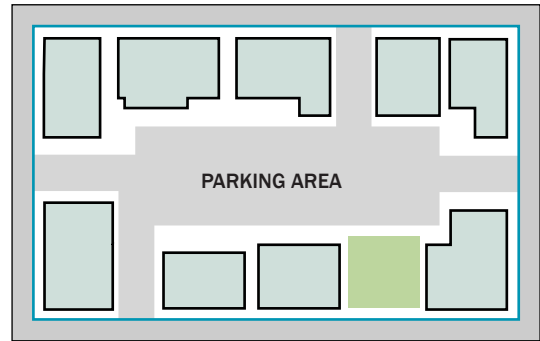


Figure 5.3. Parking and Building Locations.

- (c) All Alleys shall be designed for public use.
- (3) Sidewalks and Trails. All building front entryways shall have a continuous sidewalk to the street sidewalk. All street frontages shall have sidewalks according to the width standards in this section and shall apply only to commercial zones and not to residential zones.

7. Off-Street Parking.

- (1) Off-street parking on Primary Streets shall be located behind or to the side of buildings. See Figure 5.3.
 - (a) Changes to this standard in subsection 5.7 (1) requires County Council approval.
- (2) Lots wider than 140 feet are permitted one double-loaded aisle of parking (maximum width 72 feet), located perpendicular to the front property line, which is exempt from Primary Street Frontage Requirements.
- (3) Off-street Parking Space Dimensions. Parking spaces must be at least nine feet (9') wide by eighteen feet (18') long. The County Engineer may approve minor variations in Parking Space dimensions. ADA Parking Space width requirements vary and shall be consistent with current International Building Code Standards.
- (4) Access to off-street Parking Facilities.
 - (a) Forward travel to and from parking facilities from a dedicated street or alley shall be required for all uses except for private parking. The parking area shall be adequate to facilitate the turning of vehicles to permit forward travel upon entering a street.
 - (b) The access to all off street parking facilities shall be designed in a manner which will not interfere with the movement of traffic.
 - (c) Access driveways across sidewalks or pedestrian ways shall be designed in such a manner as to promote pedestrian safety.

5.0 Site Design

- (d) Circulation Within an off-street Parking Area
 - (i) Circulation within a parking area with more than one aisles must be such that a car need not enter the street or turn to reach another aisle within the same parking area. See Figure 5.4
 - (ii) Directional signs shall be required to differentiate between entrance and exit access points to the streets.
- (5) Lighting of off-street Parking Areas. Any lighting used to illuminate off street parking facilities or vehicle sales areas shall be so arranged as to reflect the light away from the adjoining premises.
- (6) On-Street Parking. See 3.2 (1) for on-street parking.

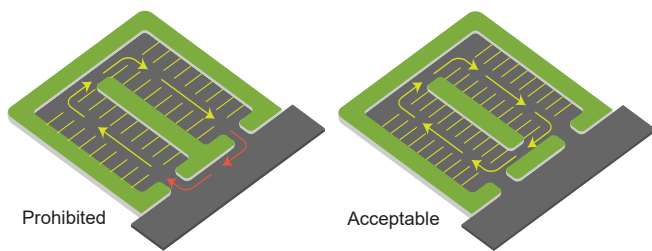


Figure 5.4. Parking Circulation

8. Site Furnishings.

- (1) Applicability. Site furnishings are applicable in the following Place Types: Village Centers, Town Centers, Commercial Centers.
 - (a) The developer or builder is responsible for providing site furnishings as required in this document. All site furnishings shall be specified on the plans at site plan.
 - (b) Benches. Each project shall provide one (1) outdoor bench per building 20,000 square feet or smaller and 2 outdoor benches for buildings greater than 20,000 square feet. Benches shall be durable and permanently installed on a hardscape (concrete, pavers, etc) surface.
 - (c) Tables and Seating. Restaurants and food venues are encouraged to provide outdoor seating.
 - (d) Trash and Recycling Receptacles. Trash and recycle receptacles are required to be provided at a minimum of one (1) (both trash and recycle) per public entrance at commercial Buildings. Recycle bins will be required only when recycling is available by County or other service provider.
 - (e) Bike Racks. Bike racks shall be provided and installed at a minimum of four (4) bike stalls per 50 vehicle parking stalls within each development (minimum of four (4) bike rack stalls) for commercial developments and apartments/condominiums. Bike racks should be located near the entrance to the building and visible from the street or drive. Bike Racks shall be durable and permanently installed over a hardscape surface.

9. Single Family Residential and Townhome Site Design.

The primary factor that influences site design for single family houses and townhomes is the method of parking access and garage location. There are two types of methods allowed, including parking access from the street, and parking access from an alley.

- (1) Single Family Residential
 - (a) Parking Access via Street. The following standards apply to detached single family units where the garage is accessed from the street in front of the house, or from the side street on corner lots. See Figure 5.6.
 - (i) Garage shall not be more than 60% of the overall building width.
 - (ii) Garages must be set back at least four feet from the front face of the building.
 - (iii) Changes to these standards in subsection 5.9 (1)(a) require County Council approval.
 - (b) Parking Access via Alley. Garages may also be located in the rear of the property and accessed through a rear alley. See Figure 5.7.
 - (c) Street Frontage Requirement. For all detached single family units, the building shall cover 60% or more of the street frontage, as defined by the width of the building, divided by the width of the parcel. See Figure 5.8.
- (2) Townhome
 - (a) Parking Access via Street. The following standards apply to townhome units where the garage is accessed from the street in front of the house. See Figure 5.5.
 - (i) Garage width shall not be more than 77% of the overall building width.
 - (ii) Garages must be set back at least four feet from the front face of the building, not including the porch/stoop.
 - (iii) A sidewalk shall directly connect the front entry to the street sidewalk.

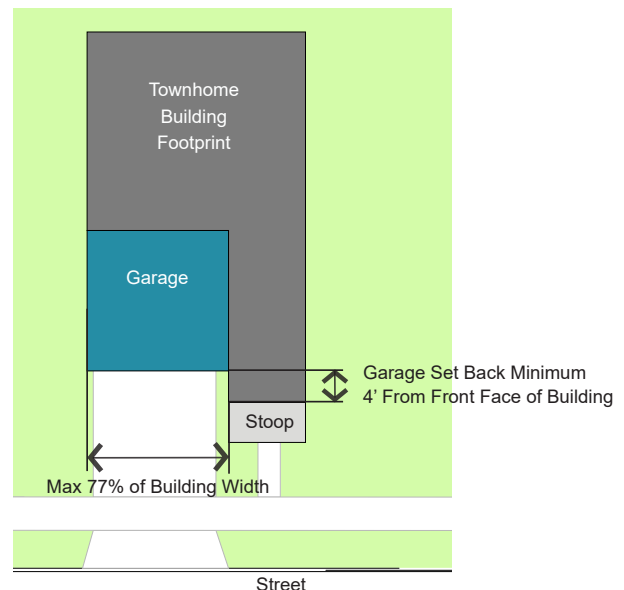


Figure 5.5 Townhome with Parking Access via Street

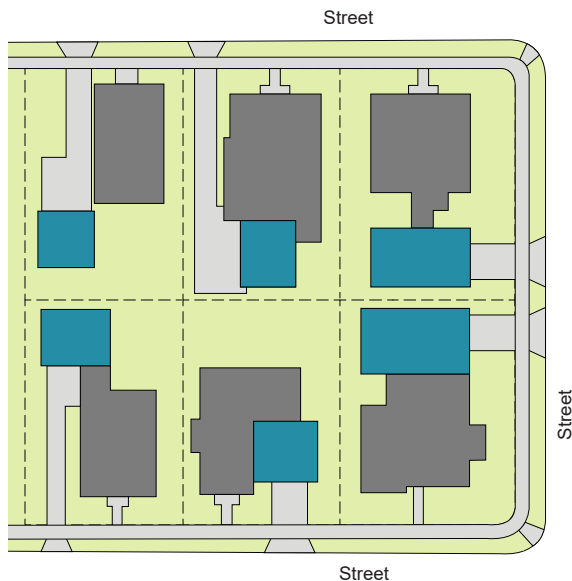


Figure 5.6 Single Family Residential Parking Access via Street

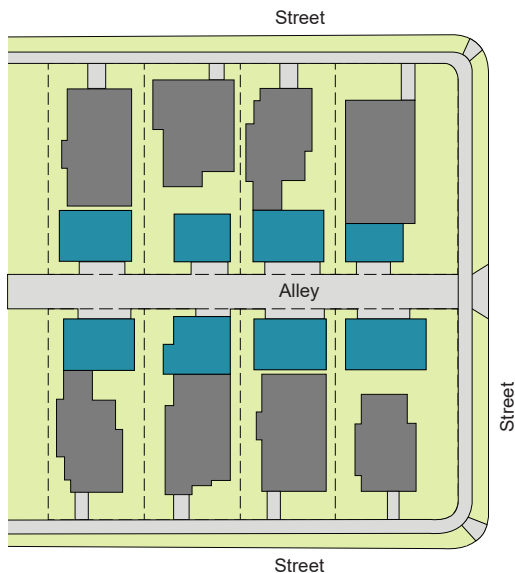


Figure 5.7 Single Family Residential Parking Access via Alley

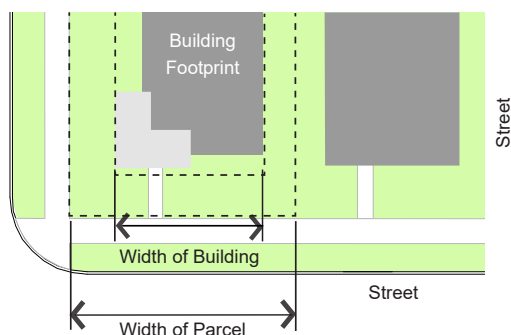


Figure 5.8 Measuring Front Property Line Coverage

(iv) Changes to these standards in subsection 5.9 (2)(a) require County Council approval.

(b) Parking Access via Alley. Garages may also be located in the rear of the building and accessed through a rear alley.

10. Fencing.

- (1) No fencing that is parallel to any sidewalk shall be within two feet of the edge of the sidewalk.
- (2) Height. Rear fencing shall be a maximum height of 75 inches, unless approved or directed by the County, for such circumstances as proximity to a railroad right-of-way or utility lot. Fencing in a side yard adjacent to a street shall be a maximum height of 48 inches.
- (3) Front yards. Front yard fence height shall be a maximum height of 36 inches, and the fence opacity shall be no greater than 60% .
- (4) Type. Chain-link fencing is not permitted along any street frontage, with the exception of dedicated sports field or court fencing approved by the County.
- (5) Spacing of Openings. Openings or gates shall be provided on every street face at a minimum of every 200 feet.

11. Sign Requirements.

- (1) Additional sign types and standards will be specified at the CSP.

12. Trash Enclosure Standards.

- (1) All garbage dumpsters shall be enclosed by a masonry wall or architectural design with materials that are consistent with the building. The enclosure gate shall be metal and accessible to service vehicles. The enclosure wall and gate shall be a minimum of 12" higher than the trash receptacle bin. See figure 5.9.

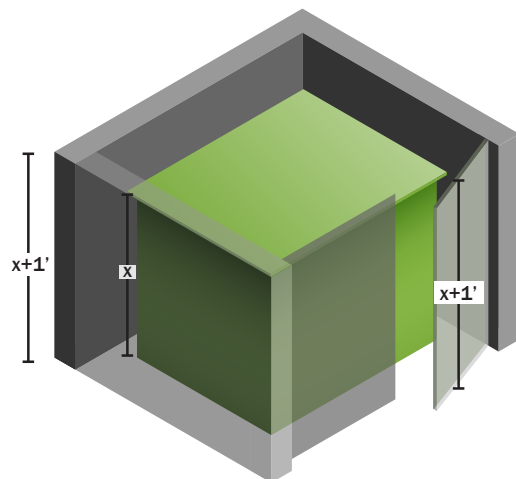


Figure 5.9. Dumpster Enclosure

5.0 Site Design

13. Lighting.

- (1) Dark Skies. Lighting with cut-off fixtures shall be used to promote dark sky standards. See Figure 5.9 for a sample of acceptable light fixture types that meet dark sky requirements.
 - (a) Changes to this standard requires County Council approval.
- (2) Energy Efficiency. Light fixtures shall use energy efficient bulbs to minimize energy use.

Examples of Acceptable / Unacceptable Lighting Fixtures



Figure 5.9 - Acceptable Light Fixture Types (From darksky.org)

6.0 Buildings & Architecture

6.0 Buildings & Architecture

1. Intent.

Olympia Hills intends to provide a wide range of building types in order to create a complete, mixed-use community. This section outlines the standards that will help make all building types support walkability and enhance livability in the community. They have a specific focus on the ground floor of buildings to help activate the street.

2. Building Typologies

Building Typologies will be determined at the Community Structure Plan (CSP). Building typologies will dictate form, glazing/transparency, and other features.

3. Building Massing.

The massing of buildings should be designed to relate to a human scale.

- (1) Vertical Facade Divisions. Buildings shall use vertically oriented expression lines or forms to divide the facade into smaller increments. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of one and a half inch depth.
- (2) Horizontal Facade Divisions. Buildings shall use horizontally oriented expression lines or forms to divide portions of the facade into horizontal divisions. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half inch depth.
- (3) Distances for facade division requirements will be dictated by building type at the Community Structure Plan (CSP).

4. Building Variety.

Olympia Hills shall utilize varying architectural elements throughout the community to create dynamic and interesting Centers and Neighborhoods.

- (1) No buildings on the same block face (on both sides of the street) may be the same, up to 400 foot maximum distance. Building design must distinctly vary 3 of the following 8 elements:
Architectural Style, Color, Roof Line, Materials, Window Locations, Door/Porch Locations, Floor Plan, Exterior Wall Changes (to Create Shadow Patterns).
(a) Changes to these standards require County Council approval.

5. Blank Wall Limitations.

A restriction of the amount of windowless area permitted on a facade with street frontage.

- (1) No rectangular area greater than 30% of a story's facade, as measure from floor to floor, may be windowless.

6. Housing Types

Olympia Hills shall provide a range of housing types, including multifamily buildings, townhomes, and a variety of single family opportunities.

7. Building Height Transitions

Building height transitions between mixed-use centers (Town Centers, Village Centers, and Commercial Centers) and Neighborhoods shall be gradual. Where a mixed-use center is adjacent to a Neighborhood Place Type, a sensitive approach to height transitions shall be used.

Maximum building story height difference between Town Center, Village Center, and Commercial Center buildings adjacent to Neighborhood Place Type buildings shall be two (2) stories.

Buildings on the perimeter of the Master Planned Area shall not be greater than two stories higher than directly adjacent existing buildings.

8. Building Height Maximums

See Table 6.1 for list of building height maximums by Place Type.

- (1) Changes to Building Height standards requires County Council approval.

Building Height Maximums	
Place Type	Number of Stories
Town Center	10
Village Center	5
Commercial Center	4
Institutional	4
Neighborhood	3
Open Space	-

Table 6.1. Building Height Maximums

9. Ground Story and Upper Story Height.

Buildings in Town Centers and Village Centers shall have a minimum and maximum height standard for both the ground floor and upper floors.

- (1) Ground Story. The ground story of all buildings in Town Centers and Village Centers shall be between 14' and 20'.
- (2) Upper Stories. The upper stories of all buildings in Town Centers and Village Centers shall be between 9' and 14'.
- (3) Floor Height is measured in feet between the floor of a story to the floor to the story above it.
- (4) Floor height requirements apply to street facing facades.

10. Entrance Types.

The intent of the entrance type standards is to guide the design of the ground story of all buildings to relate appropriately to pedestrians on the street.

Entrance type standards apply to the ground story and visible basement of front facades of all Building Types. The following options may be used. Other options may be used with approval from County Staff.

- (1) **Storefront Entrance Type.** The storefront entrance type is a highly transparent ground story treatment designed to serve primarily as the display area and primary entrance for retail or service uses (Refer to Figure 6.1).
 - (a) **Horizontal Facade Division.** Horizontally define the ground story facade from the upper stories.
 - (b) **Entrance.** All entries should be recessed from the front facade a minimum of three feet and a maximum of eight feet.
- (2) **Standard Entrance Type.** The standard entrance type uses architectural elements to create a highly visible building entrance that is well integrated into the building's overall design. (Refer to Figure 6.2).
- (3) **Stoop Entrance Type.** A stoop is a roofed or unroofed, open platform (Refer to Figure 6.3).
 - (a) **Stoop Size.** Stoops should be a minimum of three feet deep and six feet wide.
 - (b) **Elevation.** Stoop elevation should be located a maximum of 2'-6" above the sidewalk without visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.
 - (c) **Visible Basement.** A visible basement is permitted and shall be separated from the ground story by an expression line.
- (4) **Arcade Entrance Type.** An Arcade entrance type is a covered pedestrian walkway within the recess of a ground story (Refer to Figure 6.4).
 - (a) **Arcade.** An open-air public walkway is required from the face of the building recessed into the building a minimum of eight feet and a maximum of 15 feet.
 - (b) **Build-to Zone.** When the Arcade is utilized, the outside face of the Arcade shall be considered the front facade, located within the required build-to zone.
 - (c) **Recessed or Interior Facade.** Storefront entrance type is required on the recessed ground story facade.
 - (d) **Column Spacing.** Columns should be spaced between ten feet and 12 feet on center.
 - (e) **Column Width.** Columns should be a minimum of 1'-8" and a maximum 2'-4" in width.
 - (f) **Arcade Opening.** Opening shall not be flush with interior arcade ceiling and may be arched or straight.
 - (g) **Horizontal Facade Division.** Horizontally define the ground story facade from the upper stories.

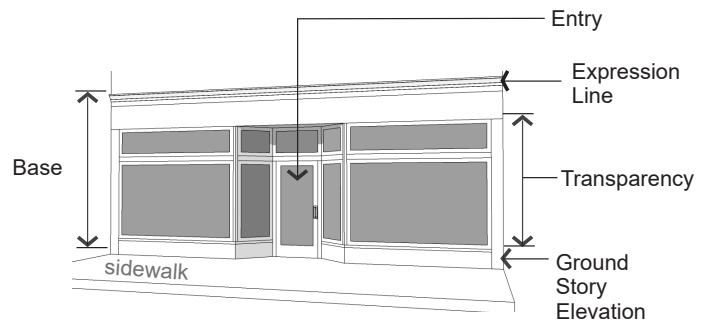


Figure 6.1. Storefront Entrance Type

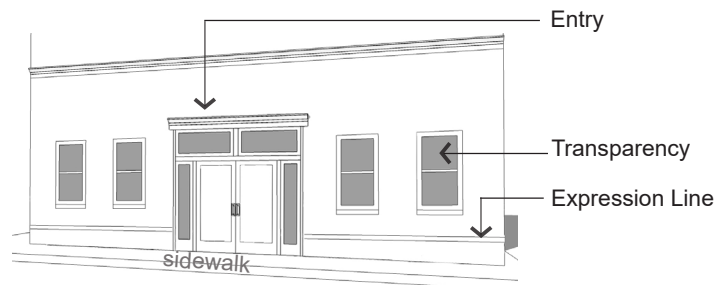


Figure 6.2. Standard Entrance Type

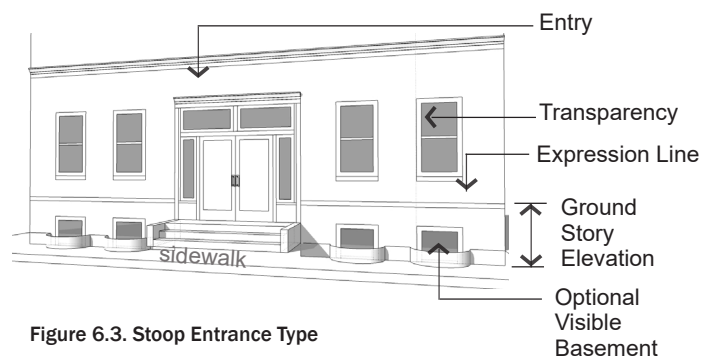


Figure 6.3. Stoop Entrance Type

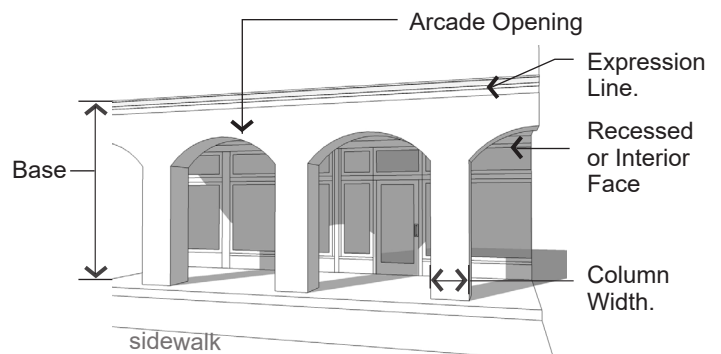


Figure 6.4. Arcade Entrance Type

6.0 Buildings & Architecture

- (4) Porch Entrance Type. A porch is a raised, roofed platform that may or may not be enclosed on all sides (Refer to Figure 6.5).
- (a) Porch Size. The porch shall be a minimum of five feet deep and eight feet wide.
 - (b) Elevation. Porch elevation should be located a maximum of 2'-6" above the sidewalk without a visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.
 - (c) Visible Basement. A visible basement is permitted.
 - (d) Height. Porch may be two stories to provide a balcony on the second floor.
 - (e) Entrance. All entries shall be located off a porch.

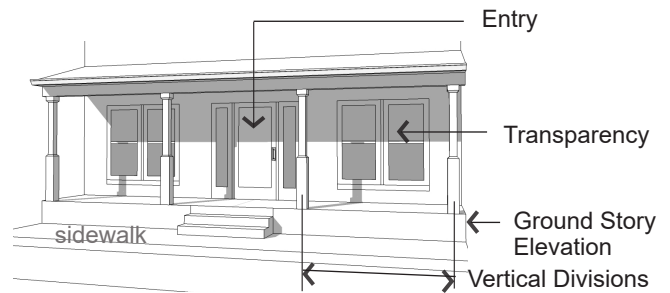


Figure 6.5. Porch Entrance Type

11. Sustainability.

- (1) Water Conservation. Buildings shall be designed and constructed to use water-saving strategies, such as:
- (a) Water conserving appliances, toilets, plumbing and fixtures that possess a WaterSense label from the U.S. Environmental Protection Agency, and piping to facilitate future grey-water systems, etc.
- (2) Energy Conservation. Buildings shall be designed and constructed to use energy-saving strategies, such as:
- (a) Energy efficient windows which exceed prescriptive requirements of the 2015 International Energy Conservation Code (IECC) shall be used to reduce heat loss in the winter and heat gain in the summer.
 - (b) Energy efficient furnaces, air conditioners, water heaters, and dryers shall be used. All dwelling units and buildings shall, at minimum, be constructed with Ultra-low NOx water heaters that are Energy Star certified and furnaces that meet a 97% AFUE (Annual Fuel Utilization Efficiency) rating.
 - (c) Airtight and well-insulated building envelopes to reduce mechanical loads and facilitate cost savings from needing smaller mechanical/HVAC systems. The air tightness level and wall insulation shall exceed the prescriptive requirements of the 2015 IECC (when the "building envelope" is air tight and well-insulated a smaller mechanical/HVAC system is required).
 - (d) Building materials that have a low embodied energy rating, such as locally produced materials, materials with a higher recycled content, and materials that require less energy to produce or manufacture.
- (3) Changes to the Sustainability standards in this section 6.11 requires County Council approval.

7.0 Landscape

7.0 Landscape

7.1 General Requirements.

1. Intent.

Olympia Hills intends to meet the following landscape standards outlined in this section, which are designed to meet the following set of goals.

- (1) To provide for healthy, long-living street trees within all public right-of-ways to improve the appearance of streets and to create a buffer between pedestrian and vehicular travel lanes.
- (2) To increase the compatibility of adjacent uses and minimize the adverse impacts created by adjoining or neighboring uses.
- (3) To promote the prudent use of water and energy resources by achieving and maintaining sustainable, functional landscapes.
- (4) To shade large expanses of pavement and reduce the urban heat island effect.
- (5) Create beautiful landscapes and places for people to live, work and play.

2. Applicability.

All requirements listed in this section supercede any CC&R requirements and/or current County Code.

- (1) Temporary Uses. These provisions do not apply to temporary uses, unless determined otherwise by the County.
- (2) Landscaped roof gardens count towards required landscape areas and plant requirements.
- (3) Buffers. Landscape buffers are required according to the provisions in this section with the following exceptions.
 - (a) Shared Driveways. Buffers shall not be required along a property line where a curb cut or aisle is shared between two adjoining lots.
 - (b) Points of Access. Buffering is not required at driveways or other points of access to a lot.

3. Lawn Area.

Lawn area should be limited and confined to highly usable and/or prominent spaces that will maximize its use.

- (1) Residential Landscapes. Lawn areas in residential landscapes shall not exceed 2,000 sf or 35% of the total landscaped area, whichever is greater.
 - (a) Changes to this standard requires County Council approval.
 - (b) Exemptions. Common spaces for multi-family residential buildings are exempt from lawn restrictions.
 - (c) Lawn areas should be at least eight feet wide in all directions.
- (2) Commercial, Industrial, and Institutional Landscapes. Outside of active recreation areas, lawn in commercial, industrial, and institutional landscapes shall not exceed 20% of the total landscape area.
 - (a) Changes to this standard requires County Council approval.

- (2) Park Strips. Lawn should not be used in park strips or other narrow areas that are less than eight feet wide. Plants, mulch, drip irrigation, and hardscape should be used instead.
- (3) Obstructions. Lawn areas should be free from obstructions such as trees, sign posts, and boulders.
 - (a) Exceptions. Where lawn is used in park strips over eight feet wide, obstructions such as street trees are allowed.
- (4) Slopes. Lawn shall not be used on slopes greater than 25% (4:1 grade).
- (5) Turf grass alternatives. Turf grass alternatives are encouraged where appropriate, such as medians, parkstrips or other less-usable spaces where turf grass is not necessary. These include native grasses or other low-water grasses that create a natural look. See Figure 7.1 for turf grass alternative example.
- (6) Water Efficient Landscape Options. All homebuilders should offer at least one water-efficient landscaping option to prospective home buyers.
 - (a) Model homes. Model homes should be designed with water-efficient landscaping.



Figure 7.1. Turf Grass Alternative Example.

4. Planting Area.

- (1) At least 3-4 inches of Mulch, permeable to air and water, shall be used in Planting Beds to control weeds and improve the appearance of the landscaping.
- (2) At maturity, landscapes shall have enough plant material (perennials and shrubs) to create at least 50% living plant cover at maturity at the ground plane, not including tree canopies.
- (3) Planting beds may include shrubs, ornamental grasses, ground cover, vines, annuals, or perennials.

7.2 Installation of Landscape.

1. Intent.

The following provisions aid in ensuring that all required landscaping is installed and maintained properly.

2. Applicability.

These provisions apply to landscape installation as required by this section.

3. General Requirements.

The installation of landscaping shall adhere to the following standards.

- (1) National Standards. Best management practices and procedures according to the nationally accepted standards shall be practiced.
 - (a) Installation. All landscaping and trees shall be installed in conformance with the practices and procedures established by the most recent edition of the American Standard for Nursery Stock (ANSI Z60.1) as published by the American Association of Nurserymen.
 - (b) Maintenance and Protection. All landscaping and trees shall be maintained, including its provisions on pruning, fertilizing, support systems, lighting protection, and safety.
- (2) Installation. Landscaping shall be fully installed prior to the issuance of a certificate of occupancy unless approved by the County.
 - (a) Single family residential units shall have front and street-side yards landscaped prior to the issuance of a certificate of occupancy. Backyards are exempt.
 - (b) If seasonal conditions preclude the complete installation of required improvements, a bond or other guarantee assurance acceptable to the County may be posted. The amount shall be equal to the installation costs as estimated by the County or by qualified professionals in accordance with State Law.

- (c) Complete front and side yard installation is required within nine months of the issuance of the temporary certificate of completeness or occupancy permit or the cash escrow or letter of credit may be forfeited.
- (3) Plant Requirements. Plant material shall be sized according to Table 7.1 at the time of installation, unless otherwise noted in this section.
- (4) Condition of Landscape Materials. The landscaping materials used shall be:
 - (a) Healthy and hardy with a good root system.
 - (b) Chosen for its form, texture, color, fruit, pattern of growth, and suitability to local conditions.
 - (c) Tolerant of the natural and man-made environment, including tolerant of drought, wind, salt, and pollution.
 - (d) Appropriate for the conditions of the site, including slope, water table, and soil type.
 - (e) Protected from damage by grates, pavers, or other measures.
 - (f) Plants that will not cause a nuisance or have negative impacts on an adjacent property.
 - (g) Species native or naturalized to the Wasatch Front, whenever possible.
- (5) Installation of container plants must address root girdling by loosening the root ball and cutting problematic roots as necessary.
- (5) Soil amendments should be utilized to increase the health and sustainability of the landscaping, as recommended by a Landscape Architect.
- (6) Establishment. All installed plant material shall be fully maintained until established, including watering, fertilization, and replacement as necessary.

Plant Material Type	Minimum Size
Deciduous Shade/Overstory Tree	
Single Trunk	1.5" caliper
Single Trunk (Street Tree)	2" caliper
Multi Trunk	8' in height
Evergreen Tree	6' in height
Ornamental Tree	1.5" caliper
Shrubby - Deciduous	3 gallon
Shrubby - Evergreen	3 gallon
Groundcover	3" in height
Ornamental Grass	1 gallon
Perennial	1 gallon

Table 7.1. Plant Material Size at Installation.

7.0 Landscape

4. Tree Installations.

This section applies to all trees, including street trees (refer to Table 7.3 (1) and Table 7.3 (2) for the list of sample street tree types).

- (1) **Tree Measurement.** New trees shall be measured at six inches above the mean grade of the tree's trunk when four inch caliper or less and twelve inches for tree trunks above four inches, and as noted as caliper inches throughout this ordinance.
- (2) **Tree Maintenance.** Tree trimming, fertilization, and other similar work shall be performed by or under the management of an ISA certified arborist.
- (4) **Tree Size.** All site trees to be installed to meet the requirements of this section shall have a minimum of 1.5 inch caliper at the time of installation. Street trees shall be a minimum of 2 inch caliper at the time of installation.
 - (a) Trees stakes are required until tree caliper reaches 2", at which point they shall be removed.
- (5) **Permeable Surface.** For each tree preserved or planted, a minimum amount of permeable surface area is recommended.
 - (a) Planted trees have a suggested minimum permeable area and soil volume based upon tree size; refer to Table 7.2 for details.
- (6) **Structural Soil.** When the Soil Surface Area (per Table 7.2) of a tree will extend below any pavement, structural soil is required underneath that pavement. Structural soil is a medium that can be compacted to pavement design and installation requirements while still permitting root growth. It is a mixture of gap-graded gravels (made of crushed stone), clay loam, and a hydrogel stabilizing agent to keep the mixture from separating. It provides an integrated, root penetrable, high strength pavement system that shifts design away from individual tree pits (source: Cornell University, Urban Horticulture Institute).
 - (a) Soil cell systems are allowed as an alternative to structural soil.

Tree Size	Soil Volume (cubic ft)	Soil Surface Area (sq ft) with 2.5' Soil Depth	Permeable Surface Area Requirement (sq ft)
Small (less than 25' mature canopy)	736	294 (approx. 17' x 17')	100 (10' x 10')
Medium (25'-35' mature canopy)	2852	1141 approx. 34' x 34')	225 (15' x 15')
Large (larger than 35' mature canopy)	6532	2681 (approx. 50' x 50')	400 (20' x 20')

Table 7.2. Minimum Recommended Soil Volumes and Permeable Area per Planted Tree.

5. Irrigation Systems.

Permanent irrigation, beyond establishment, is required and shall adhere to the following standards.

- (1) All irrigation systems shall be designed to minimize the use of water.
- (2) The irrigation system shall provide sufficient coverage to all landscape areas.
- (3) Landscaped areas shall be provided with a WaterSense labeled smart irrigation controller which automatically adjusts the frequency and/or duration of irrigation events in response to changing weather conditions. All controllers shall be equipped with automatic rain delay or rain shut-off capabilities.
- (4) Each irrigation valve shall irrigate landscaping with similar site, slope and soil conditions, and plant materials with similar watering needs. Lawn and Planting Beds shall be irrigated on separate irrigation valves. In addition, drip emitters and sprinklers shall be placed on separate irrigation valves.
- (5) All irrigation shall be appropriate for the designated plant material to achieve the highest water efficiency. Drip irrigation or bubblers shall be used except in turf areas. Drip irrigation systems shall be equipped with a pressure regulator, filter, flush-end assembly, and any other appropriate components.
- (6) The irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, streets, and parking and loading areas.
- (7) All systems connected to culinary water shall be equipped with a back-flow prevention device.
- (8) All mechanical systems including controllers and back-flow prevention devices shall be properly screened from public view.
- (9) All irrigation plans shall be stamped by Professional Landscape Architect or Certified Irrigation Designer (IA) and submitted to the County for review.

6. Maintenance of Landscape.

All landscaping shall be maintained in good condition at all times to ensure a healthy and orderly appearance.

- (1) All required landscape shall be maintained to adhere to all

requirements of this ordinance.

- (2) **Replacing Unhealthy Landscaping.** Unhealthy landscaping shall be replaced with healthy, live plants by the end of the next applicable growing season. This includes all plant material that shows dead branches over a minimum of 25% of the normal branching pattern.
- (3) **Maintenance Responsibility.** The owner is responsible for the maintenance, repair, and replacement of all landscaping, screening, and curbing required herein.
- (4) **Maintain Quality and Quantity.** Maintenance shall preserve at least the same quantity, quality, and screening effectiveness as initially installed.
- (5) **Tree Topping.** Tree topping is not permitted. When necessary, crown reduction thinning or pruning is permitted.
- (6) **County Inspection.** All landscaped areas regulated by this ordinance may be inspected by the County.

7.3 Street Trees & Streetscape Design.

1. Intent.

To line all streets with a consistent and appropriate planting of trees and to create an established tree canopy for environmental benefit and a sense of identity for all streets.

2. Applicability.

The requirements herein apply to all streets within Master Planned Communities.

- (1) **Street Tree Master Plan.** A street tree master plan is required at the Community Structure Plan (CSP) submittal for arterial and collector streets. At the Project Plan level, a street tree master plan is required for all street types that require street trees. See 3.0 Street Types & Design. These plans specify street tree species on all required streets, by block face. These plans will ensure consistency of street trees by block, while also ensuring proper species diversity across Olympia Hills.
 - (a) Changes to this process requires County Council approval.

3. Streetscape Design Submittal.

A consistent streetscape design shall be submitted at the Project Plan/ Subdivision Plat submittal for approval of all new streets within the development. At a minimum, the submittal shall include the following:

All Landscape Plans shall be stamped by a Professional Landscape Architect.

- (1) **Street Trees.** Trees meeting the minimum requirements of Section 7.3.4 Minimum Street Tree Requirements, shall be included in the streetscape design, with details related to tree pits, tree planting to meet the requirements of Section 7.2.4 Tree Installations.
- (2) **Street Furnishings.** Benches, seatwalls, planters, planter fences, trash receptacles, and bicycle racks at the least shall be specified and quantities and locations listed for each street type. Each Project Plan to include a plan with furnishings.
- (3) **Landscape Design.** Ground plane vegetation shall be designated for any landscape bed areas, planter areas, and tree wells.
- (4) **Lighting.** Pedestrian and vehicular lighting shall be specified and locations and quantities noted. Street lighting shall comply with Public Works Standards and Section 5.9 Lighting.
- (5) **Identity Elements.** Any other elements designed to establish the identity of each Street, such as banners, pavement markers, artwork, or signage, shall be included in the streetscape design submittal.

4. Minimum Street Tree Requirements.

The following standards apply to the installation of street trees.

- (1) **Exception.** Street Trees are not required on Alley Streets (refer to Chapter 2 for Street Types).
- (2) **Clear Branch Height.** Minimum clear branch height is eight feet.
- (3) **Street Tree Type.** Medium and large shade trees are required to be installed as street trees see Table 7.3 (1) and 7.3 (2) for a sample list of permitted trees. This list is only a sample to demonstrate intent. Other tree species are encouraged, as appropriate, and may be used with approval from the County.
- (4) **Street Tree Spacing.** Street trees shall be planted as follows.
 - (a) Each Lot is required to have minimum of one tree. Medium trees shall go in a park strip less than 6 feet and Large trees shall go in a park strip greater than 7 feet.



Figure 7.2. Residential Street Tree Example.

7.0 Landscape

- (b) Tree Spacing.
 - (i) Large trees must be spaced a minimum of 20 and a maximum of 40 feet on center.
 - (ii) Medium trees must be spaced a minimum of 15 and a maximum of 30 feet on center.
 - (iii) Small trees, less than 20 feet in diameter at maturity, are not permitted as street trees. Conifer trees are also not permitted as street trees.
- (c) Limited Distance between Curb and Sidewalk. Where the distance from the back of the curb to the edge of the right-of-way or property line is less than nine feet with a sidewalk, Applicant shall work with The County to determine the appropriate tree species.
- (d) Changes to these standards require County Council approval.
- (5) Tree Wells. In commercial districts, where the sidewalk extends from the back of curb to the property line, tree wells shall be utilized.
 - (a) For tree wells adjacent to sidewalks five feet wide or less, open pit is not permitted.
 - (i) The opening must be covered with a tree grate or pervious pavement.
 - (ii) The opening in a tree grate for the trunk must be expandable.
- (6) Streets shall have the same tree species per block on both sides of the streets with changes at intersections.



Figure 7.3. Commercial Street Tree Example.

Sample of Large Street Trees

Sycamore Maple	<i>Acer pseudoplatanus</i>
Emerald Queen Maple	<i>Acer platanoides</i> 'Emerald Queen'
Catalpa	<i>Catalpa speciosa</i>
Hackberry	<i>Celtis occidentalis</i>
Riversii Beech	<i>Fagus sylvatica</i> 'Riversii'
Cimmaron Ash	<i>Fraxinus pennsylvanica</i> 'Cimmaron'
Marshall Seedless Ash	<i>Fraxinus pennsylvanica</i> 'Marshall Seedless'
Patmore Ash	<i>Fraxinus pennsylvanica</i> 'Patmore'
Ginkgo	<i>Ginkgo biloba</i> 'Princeton Sentry'
Honeylocust	<i>Gleditsia triacanthos</i>
Kentucky Coffeetree	<i>Gymnocladus dioica</i>
London Planetree	<i>Platanus x acerifolia</i>
Japanese Pagodatree	<i>Sophora japonica</i>
Accolade Elm	<i>Ulmus carpinifolia</i> 'Accolade'

Table 7.3 (1). Sample List of Permitted Tree Species.

Sample of Medium Street Trees

Fairview Maple	<i>Acer platanoides</i> 'Fairview'
Sensation Boxelder	<i>Acer negundo</i> 'Sensation'
Briotii Horsechestnut	<i>Aesculus x carnea</i> 'Briotii'
Chinese Fringetree	<i>Chionanthus retusus</i>
Yellowwood	<i>Cladrastis kentukea</i>
Manchurian Ash	<i>Fraxinus mandshurica</i> 'Mancana'
Goldenraintree	<i>Koelreuteria paniculata</i>
Fruitless Mulberry	<i>Morus alba</i> 'Fruitless'
Mayday Tree	<i>Prunus padus</i>
Purple Robe Locust	<i>Robinia pseudoacacia</i> , 'Purple Robe'
Lacebark Elm	<i>Ulmus parvifolia</i>
Frontier Elm	<i>Ulmus parvifolia</i> 'Frontier'
Japanese Zelkova	<i>Zelkova serrata</i>
Chanticleer Pear	<i>Pyrus calleryana</i> 'Chanticleer'

Table 7.3 (2). Sample List of Permitted Tree Species.

7.4 Frontage Buffer.

1. Intent & Applicability.

- (1) Intent. To lessen the visual impact of vehicular parking areas visible from the street.
- (2) General Applicability. Applies to properties in all districts.
 - (a) Exceptions. Vehicular areas along alleys, except when a residential district is located across the alley; Single and two family residences.
- (3) The frontage buffer may be used for storm water drainage with a maximum depth of one foot and no more than a 2 to 1 slope on the edges. Such areas shall be creatively landscaped with a combination of trees, shrubs, inert mulches, boulders, etc.

7.4 Frontage Buffer Requirements

1. Buffer Depth & Location ¹

Depth	5'	a
Location on the Site	Between street facing property line and parking area ²	b

2. Buffer Landscape Requirements

Uses & Materials	Uses and materials other than those indicated are prohibited in the buffer	
Shade Trees	Medium or large shade tree required at least every 40'; Locate on the street side of the fence; Spacing should alternate with street trees	c
Hedge	Required continuous hedge on street side of fence, between shade trees & in front of vehicular areas	d
Hedge Composition	Individual shrubs with a minimum width of 24", spaced no more than 36" on center, height maintained no more than 48".	
Existing Vegetation	May be credited toward buffer area	

Notes:

¹ This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

² In front, corner, and rear yards (on a through lot), when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the property line must be landscaped.

Table 7.4. Frontage Buffer Requirements.

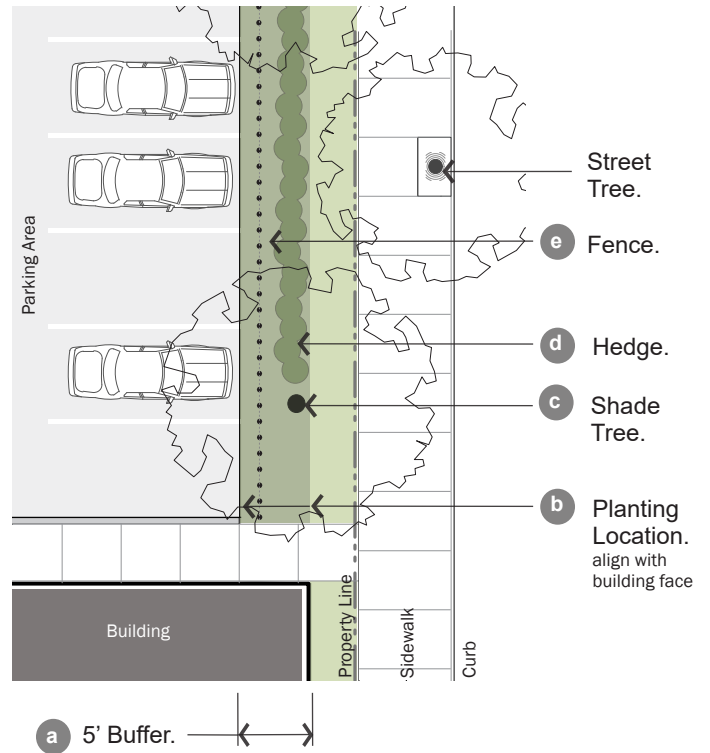


Figure 7.4 (1). Frontage Buffer Plan View

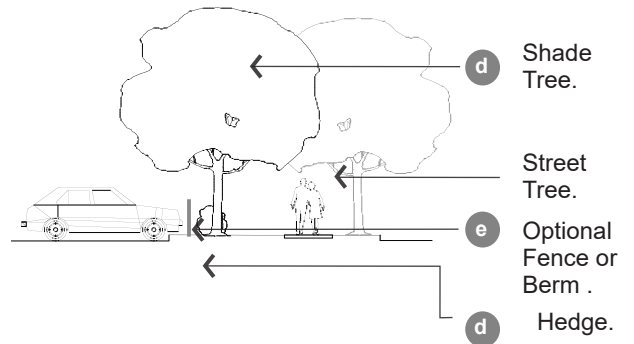


Figure 7.4 (2). Frontage Buffer Section.

7.0 Landscape

7.5 Side & Rear Buffer.

1. Intent & Applicability.

- (1) Intent. To minimize the impact that commercial uses may have on a residential neighborhood and to provide a transition between uses. A County Administrator will determine which uses require buffers.
- (2) General Applicability. Applies to all commercial properties directly adjoining single-family residential properties.

7.5 Side & Rear Buffer Requirements

1. Buffer Depth & Location

Depth 10' a

Location on the Site Locate buffers on more intensively zoned lot, along shared property line; Buffer is measured from side and rear property lines.

2. Required Landscape Screen

Width 5' landscape screen in addition to any other buffer landscaping b

Location Directly adjacent to the rear or side property line

Hedge Continuous double row of shrubs required between shade trees c

Hedge Composition Double row of individual shrubs with a minimum width of 24", spaced no more than 36" on center; Mature height in one year of 24"

Hedge Frequency Minimum of 15 shrubs per 100' of property line is required

Shade Trees At least 1 medium or large shade tree per every 40' within the buffer d

3. Buffer Landscape Requirements

Uses and Materials Uses and materials other than those indicated are prohibited within the buffer

Tree Canopy Coverage 1 medium or large shade tree required per 2,000 square feet of buffer, excluding the area within the required landscape screen d

Existing Vegetation May be credited toward buffer area

4. Buffer Fence Requirements

Uses and Materials A six foot fence is required by where buffer requirement is applicable. The fence shall be light proof and be constructed of materials that compliment the adjacent building. White vinyl and chain link with slats are not allowed. e

Notes:

¹ The County may reduce width of buffer, width of landscape screen, or location of landscape screen based on existing landscaping and topography.

Table 7.5. Side & Rear Buffer Requirements.

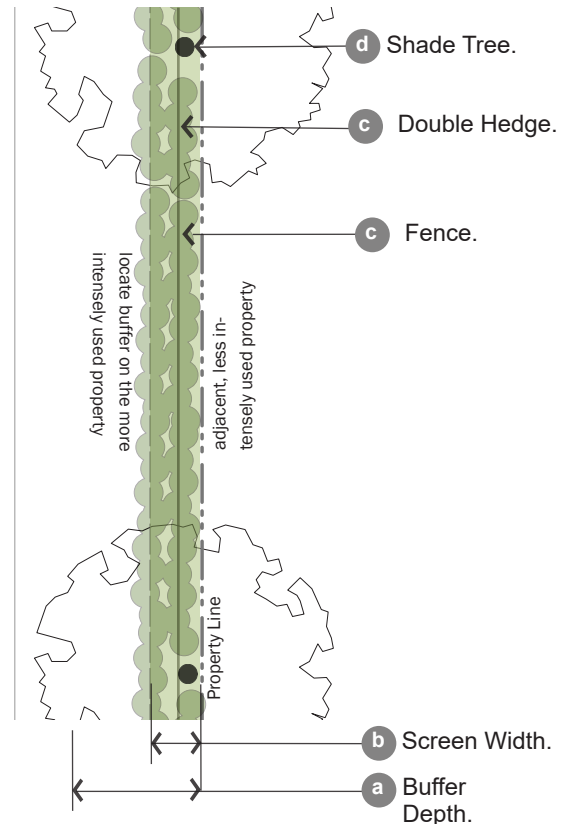


Figure 7.5 (1). Landscape Screen Plan View.

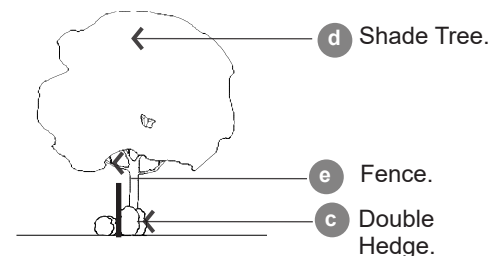


Figure 7.5 (2). Landscape Screen Section.

7.6 Interior Parking Lot Landscape.

1. Intent & Applicability.

- (1) Intent. To provide shade, minimize paving & associated stormwater runoff, & improve the aesthetic look of parking lots.
- (2) General Applicability. All Parking lots within Olympia Hills.
- (3) Other Internal Parking Lot Areas. Internal areas not dedicated to parking or drives shall be landscaped with a minimum of one medium or large shade tree for the first 150 square feet and one medium or large shade tree for every 650' thereafter.
- (4) Existing Vegetation. Existing vegetation may be credited toward these requirements.

7.6 (1) Interior Parking Lot Landscape Requirements	
1. Landscape Island Requirements	
Required Island Locations	Terminal ends ² of free standing rows or bays of parking; After every 12th parking space for rows of parking greater than 12 spaces in length. Landscape islands are not required specifically for stalls with covered parking, this only applies to covered parking areas. ³ a
Minimum Width	5'; Islands less than 15' must utilize structural soil under any paved surface within a tree's critical root zone; Islands under 9' must install an aeration system and utilize permeable pavement for the curb and gutter. b
Required Trees and Storm Water	Minimum of 1 medium or large shade tree per island. Islands shall be designed to accommodate storm (as bio-swales) water run off where the drainage plan can be reasonably designed to accomplish that objective. c
2. Landscape Median Requirements	
Required Median Location	Required in each free-standing bay of parking along the length of the bay
Minimum Width	5'; Medians less than 15' must utilize structural soil under any paved surface within a tree's critical root zone; Islands under 9' must install an aeration system and utilize permeable pavement d
3. Tree Requirements	
Requirements per Parking Space ⁴	Each parking space must be located within 50' of a tree planted within parking lot interior Minimum of 1 shade tree must be planted within parking lot interior or within 7' of parking lot's edge for every 5 parking spaces
Tree Shade Goal	Within 20 years of tree installation, 25% of the interior of the parking lot should be shaded by tree canopy. Refer to Table 7.6 (2) for calculation.

Table 7.6 (1) Interior Parking Lot Landscape Requirements.

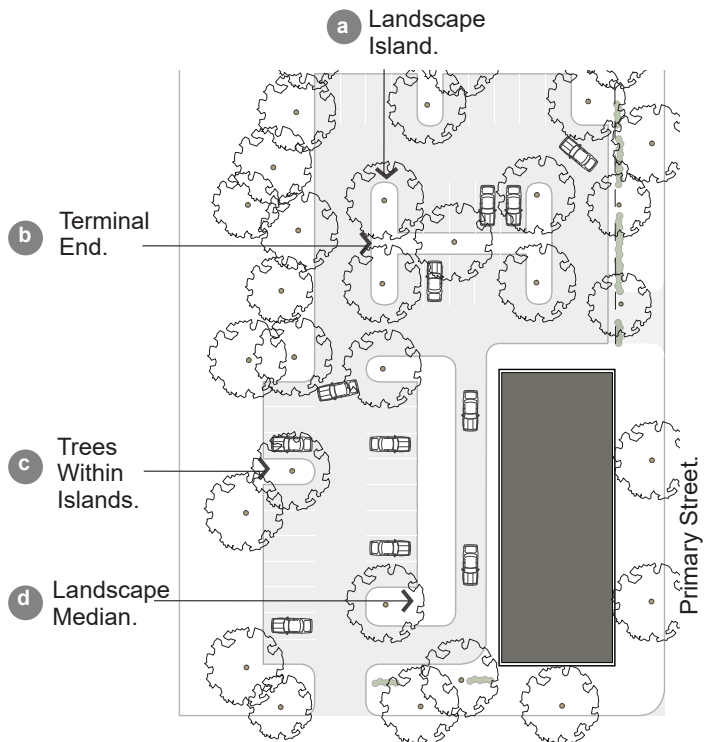


Figure 7.6. Interior Parking Lot Landscaping.

Tree Size	Estimated Canopy at Maturity (sq ft)	Estimated Height at Maturity (ft)
Very Small	150	under 15'
Small	400	15'-25'
Medium	900	25'-40'
Large	1600	40'+

Table 7.6 (2). Estimated Canopy and Height at Maturity.

Footnotes:

- ¹ Parking lot interior is defined as the area dedicated to parking on a given parcel as measured from edge of pavement to edge of pavement.
- ² Freestanding rows or bays of parking are those not abutting the parking lot perimeter or building face, and may have a single or double row of parking.
- ³ There shall be no more than 12 continuous parking spaces in a row without a landscape island.
- ⁴ Trees within a designated buffer area may not be utilized to meet these requirements

7.0 Landscape

7.7 Landscape Screening

1. Intent & Applicability.

- (1) Intent. To reduce the visibility of open storage, refuse areas, and utility appurtenances from public areas and adjacent properties.
- (2) General Applicability. All dumpsters, open storage, refuse areas, and utility appurtenances..

7.7 Screening of Open Storage, Refuse, and Utility Areas

1. Open Storage & Refuse Area Screening Requirements

Location on the Site	Not permitted in front or corner side yards, within 10 feet of property line and between building and street
Opaque Screen Wall ¹	Required around 3 sides of the dumpster and trash bin area
Screen Wall Height	Height shall be the higher of the following: <ol style="list-style-type: none"> 1. 6' 2. Height of use to be screened plus one foot 3. Height as determined by city to accomplish objective of the screen a
Visible Openings	Openings visible from the public way or adjacent properties must be furnished with opaque gates
Landscape Requirement	If refuse area is located within larger paved area, such as a parking lot, landscape islands must be located on 3 sides of the area, with at least 1 medium or large shade tree in at least 1 of the landscape areas ² b

2. Utility Appurtenance Screening Requirements

Large Private Mechanical Equipment ³	Shall be fenced with opaque wood or brick-faced masonry on all sides facing right-of-way c
Small Private Mechanical Equipment ⁴	Shall have landscape screening and a shrub bed containing shrubs spaced no more than 36" on center

Notes:

¹ Vertical structured barrier to visibility at all times such as a fence or wall

² This tree, if located within 50' of a parking space, may be utilized to meet the minimum shade requirements

³ Large private mechanical equipment is equal to or greater than 4' in height

⁴ Small private mechanical equipment is smaller than 4' in height

Table 7.7. Screening of Open Storage, Refuse and Utility Areas.

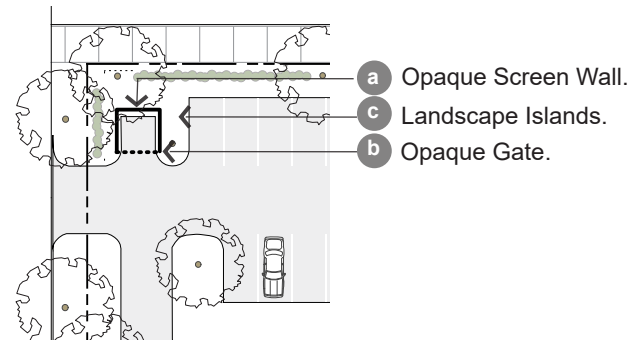


Figure 7.7. Screening of Open Storage & Refuse Areas.

8.0 Sustainability Overview

8.0 Sustainability Overview

Sustainability Overview

Sustainability is a key element of Olympia Hills, and these standards have been created with an emphasis on promoting and enhancing sustainability in a comprehensive manner. Each section of the document has sustainable design and/or construction methods integrated into it.

This section is an overview of those sustainable measures, and will describe both the intent, as well as highlight the specific measures that have been built into the design standards throughout this document.

Many of these design standards indirectly promote sustainability. However, this section will only highlight the specific sustainability measures found in the design standards, such as standards deal with energy, water conservation, water quality, and open space preservation.

1.0 Place Types and Land-Uses.

1. Sustainability Summary

The vision for Olympia Hills is to create a community where residents can live, work, and play. This section addresses the planning and design of the overall community, including creating a number of “place types.” This will ensure the ability to provide the mix of uses necessary to create a community where residents can live, work, play, shop and perform other daily functions within close proximity to each other.

This section also promotes compact development in town centers and village centers, which enhances walkability and reduces dependency on automobiles.

2. References to Sustainability

[1.2.2. Sustainability](#)

2.0 Street Network.

1. Sustainability Summary

A connected street network is one of the most important features of a compact, walkable neighborhood. It is one of the most effective ways to improve accessibility and encourage the use of non-motorized traffic modes. This section also addresses the integration of transit into the project, and encourages strong collaboration with UTA to provide a high-level of public transportation.

2. References to Sustainability

[2.2.\(2\) Transit](#)

3.0 Street Types & Design.

1. Sustainability Summary

The street types in Olympia Hills will promote sustainability by being designed to be highly walkable, and by promoting multiple alternate transportation modes such as bicycles and transit. Lane widths are minimized, in part, to reduce impervious materials and therefore reduce stormwater runoff. This section also promotes incorporating innovative stormwater management practices to reduce runoff and improve water quality.

2. References to Sustainability

[3.5. Stormwater Management.](#)

4.0 Parks, Trails & Open Space.

1. Sustainability Summary

Olympia Hills will provide significant parks and open space throughout the community, which will provide active and passive recreation for residents, as well as also helping to support biodiversity and healthy ecological systems. This section also promotes utilizing open spaces to promote innovative stormwater management practices.

2. References to Sustainability

4.3. Parks.

4.4. Open Space.

4.5. Trails.

4.6. Stormwater in Open Spaces.

5.0 Site Design.

1. Sustainability Summary

The Site Design section focuses on the details of how to create walkable, active, and vibrant Town Centers, Village Centers, and Neighborhoods. It also specifies how design elements, such as lighting, can become more environmentally sensitive.

2. References to Sustainability

5.13. Lighting.

6.0 Buildings & Architecture.

1. Sustainability Summary

Buildings are a large source of emissions, and this section outlines measures that Olympia Hills will utilize to minimize environmental impacts from buildings. This section also contains water efficiency standards for buildings.

2. References to Sustainability

6.11. Sustainability.

7.0 Landscape.

1. Sustainability Summary

Outdoor water use is one of the most important sustainability issues for the Wasatch Front. This section specifically focuses on how to limit high water-using plant materials, without compromising the livability and beauty of the community. The driving focus behind these landscape standards is to specify where lawn areas will be most effective, and to limit lawn where it is unnecessary.

2. References to Sustainability

7.3. Lawn Area.

7.4. Planting Area.

7.6. Irrigation Systems.

9.0 Appendix

9.1 Definitions.

- (1) **Agricultural Equipment and Supply** – The retail sale of equipment and supplies specific to agricultural uses.
- (2) **Alcohol & Liquor Sales** – The retail sale of beer, wine, or other alcoholic beverages for on- or off-premise consumption. It is unlawful for any person to engage in the sale of alcoholic beverages at retail within the county without first procuring a license therefor, as hereinafter provided. A separate license shall be required for each place of sale. All licenses shall comply with the provisions of the Alcoholic Beverage Control Act of Utah and the regulations of the Alcoholic Beverage Control Commission.
- (3) **Alternative Energy** – Technologies such as solar and wind power, and alternative vehicle power technologies. Includes distributed generation (e.g. rooftop solar panels, EV charging battery storage, etc.) and utility-scale (e.g. renewable procurement through the qualified entity).
- (4) **Animal Boarding** – “Animal boarding establishment” means any commercial establishment that takes in animals for the purpose of providing temporary shelter or care and charges a fee for such service.
- (5) **Apparel & Accessory Store** – Retail stores where clothing is sold, such as department stores, shoe stores, dress, hosiery, and millinery shops. Stores selling or accepting for sale clothing retail.
- (6) **Appliance & Electronic Sales & Service** – The retail sale and servicing of appliances and electronics.
- (7) **Arcade** – Any business catering to minors, containing four or more amusement devices.
- (8) **Architecture/Engineering/Design** – A firm/business with the purpose of providing architecture, engineering, or design services.
- (9) **Area** – The portion of land that is being evaluated; generally, the property or project phase being developed.
- (10) **Art & Educational Supplies** – The retail sale of art and educational supplies.
- (11) **Auto Fuel Station** – Any place where motor vehicle fuel is sold and dispensed as either a principal or incidental activity or where car washing services are sold. Where the sale and dispensing of vehicle fuel is the principal activity, accessory activities may include the retail sale of lubricants, tires, batteries, motor vehicle accessories, and supplies, including minor installation services or repairs customarily incidental thereto.
- (12) **Auto Repair** – General repair, rebuilding or reconditioning of engines, motor vehicles, or trailers, including bodywork, framework, welding, and major painting service.
- (13) **Auto Sales** – The retail sale of automobiles/vehicles.
- (14) **Automotive Supply (no service)** – A business that practices the retail sale of automotive supply but does not offer automobile sales and servicing.
- (15) **Bakery, Retail** – An establishment primarily engaged in the retail sale of baked products for consumption off-site. The products may be prepared either on or off-site. Such use may include incidental food service. A bakery shall be considered a general retail use.
- (16) **Bank or other Financial Service** – A financial institution that is open to the public and engaged in deposit banking, and that performs closely related functions such as making loans, investments, and fiduciary activities.
- (17) **Barber Shop, Beauty Salon, & Spa** – Any establishment or place of business within which the practice of barbering is engaged in or carried on by one or more barbers. Any establishment where cosmetology services are provided including hair care, nail care, and skincare on a regular basis for compensation. A place or building where active exercise and related activities are performed utilizing weight control or muscle building equipment or apparatus for the purpose of physical fitness. Also, a place or building that provides massage, exercise, and related activities with or without such equipment or apparatus.
- (18) **Bicycle Sales & Repair** – The retail sale and servicing of bicycles.
- (19) **Billiard Hall** – A primary commercial entertainment land use containing one or more pool or billiard tables, does not include the sales of alcohol.
- (20) **Block** – A contiguous group of properties bounded by multiple thoroughfares, rights-of-way, railroads, water bodies or other similar features. The block’s perimeter is formed by outer property lines of the properties within the block.
- (21) **Block Face** – The portion or side of a block that abuts a street.
- (22) **Block Length** – The length of one side of a block between two streets.
- (23) **Block Perimeter** – The block perimeter is defined as the length of all sides of a block added together.
- (24) **Book, Magazine, & Newspaper Store** – A retail establishment that, as its primary business, engages in the sale, rental, or other charge-for-use of books, magazines, newspapers, greeting cards, postcards, videotapes, computer software, or any other printed or electronically conveyed information or media, excluding any “adult bookstore,” “adult theater,” “theater,” or “studio theater”.
- (25) **Building Contractor (office only)** – A room or group of rooms used for conducting business affairs that does not use any exterior storage area.
- (26) **Building Massing** – The three-dimensional bulk of a building: height, width, and depth.
- (27) **Building Materials, Hardware, and Garden Supply** – Retail stores where items such as plumbing, heating, and electrical supplies, sporting goods, and paints are sold.
- (28) **Bulb-Outs** – Infrastructure that provides additional pedestrian space at the corners of intersections and mid-block opportunities by extending sidewalks, curb, and gutter into the roadway.

-
- (29) **Cabinet Supply (display only)** – A retail establishment used to display and sell cabinets.
- (30) **Camera & Photo Supply Store** – A retail establishment used to sale cameras and photo supplies.
- (31) **Catering** – An establishment that serves and supplies food to be consumed off-premises.
- (32) **Charitable Institutions** – A chapter, branch, area, or office, or similar affiliate or any person soliciting contributions within the state of Utah for charitable organization that has its principal place of business outside the state of Utah. Charitable organization shall be such entities as defined below and by the Charitable Solicitation Act of the Utah Code. A charitable institution includes any person, joint venture, partnership, limited liability company, corporation, association, group, or other entity that is voluntarily performing a benevolent, educational, health-related, philanthropic, humane, patriotic, religious or eleemosynary activity; and/or is involved with social welfare or advocacy group, public health project, environmental or conservation activity, or civic organization or for the benefit of a public safety, law enforcement, or firefighter fraternal association, and established for any charitable purpose.
- (33) **City Impact Fee** – A fee that is imposed by local governments to pay for all or a portion of the costs of providing public services to a new or proposed developments costs.
- (34) **Collector Street** – A street proving land access within commercial, industrial, and residential areas. A collector street enables traffic movement between local streets and the major street network. See Salt Lake Code of Ordinances 14.12.010.
- (35) **Community Structure Plan (CSP)** – A community structure plan is a framework plan for large developments laying important systems such as streets, trails, active transportation, parks, stormwater, and more.
- (36) **Computer Programming & Support** – The retail sale of computer programming and support services.
- (37) **Computer Software Sales & Leasing** – The retail sale and leasing of computer software.
- (38) **Connectivity Index** – Calculated by diving the number of links in an area by the number of nodes in that same area. Include one-half (1/2) of the perimeter links and nodes in link and node totals.
- (39) **Context Sensitive Plan** – Development practices and standards that are sensitive to community specific values.
- (40) **Congregate Housing** – Any building which contains facilities for living, sleeping and sanitation and may include facilities for eating and cooking, for occupancy by other than a family. Congregate housing includes convents, monasteries, dormitories, boarding and rooming houses, hostels, fraternity and sorority houses.
- (41) **Convenience Store** – A small retail establishment, usually located within or associated with another use, that offers for sale convenience goods, such as prepackaged food items, tobacco, periodicals, and other household goods.
- (42) **Cul-de-sac** – A street ending in a vehicular turnaround whose roadway does not connect to other streets.
- (43) **Cycle Track** – A cycle track is a separate on-road bicycle facility that is typically adjacent to, but physically separated from, vehicular traffic and parking by a barrier.
- (44) **Dark Skies** – A movement with the goal of reducing light pollution and the negative impacts associated with urban environments.
- (45) **Day Care, Adult or Child** – A facility that houses the temporary care of children and or adults.
- (46) **Dedicated Bicycle Lane** – Dedicated bicycle lanes are striped lanes on the outside of the outermost travel lanes that are designated for only bicycle use. This lane occurs on both sides of the street and shall be five to six feet wide.
- (47) **Density** – The allowable density for planned unit developments and dwelling groups shall be determined by the planning commission on a case by case basis, taking into account the following factors: recommendations of county and non-county agencies; site constraints; compatibility with nearby land uses; and the provisions of the applicable general plan.
- (48) **Department Store** – A business that practices the retail of a variety of unrelated merchandise and services.
- (49) **Designated Shared Lane** – A designated shared lane is a lane that is shared between vehicles and bicycles. This lane is typically wider than a standard vehicular lane, minimum 13 feet, in order to accommodate both types of users, and includes a painted bicycle marker combined with a double arrow (known as a “sharrow”). This improvement occurs on both directions.
- (50) **Detention Facility/Jail** – A facility that houses inmates and individuals who have been accused of or guilty of crimes.
- (51) **Drug Store/Pharmacy** – An establishment engaged in the retail sale of prescription drugs, nonprescription medicines, cosmetics, and related supplies.
- (52) **Dry Cleaning & Laundry** – An establishment that practices dry cleaning and laundry practices and services.
- (53) **Educational Services (tutor & testing)** – A business that offers education services such as tutoring and test preparation.
- (54) **Electrical Supplies** – An establishment that practices the retail sale of electrical supplies.
- (55) **Emergency Care Clinic** – A clinic that offers emergency care to individuals.
- (56) **Employment Agency** – An agency that offers the service of helping people find and procuring employment.
- (57) **Energy Efficiency** – Reducing wasteful energy practices and encouraging more sustainable practices.

9.0 Appendix

- (58) **Exterminating & Disinfecting Service** – A business that offers exterminating and disinfecting services.
- (59) **Fabric & Craft Store** – Any business establishment that produces on the premise's articles for sale of artistic quality or effect or handmade workmanship. Examples include candle making, glass blowing, weaving, pottery making, woodworking, sculpting, painting, and other associated activities.
- (60) **Facade Divisions (Vertical)** – Buildings shall use vertically oriented expression lines or forms to divide the facade into smaller increments. Elements may include a column, pilaster, or other continuous vertical ornamentation a minimum of one and a half-inch depth.
- (61) **Facade Divisions (Horizontal)** – Buildings shall use horizontally oriented expression lines or forms to divide portions of the facade into horizontal divisions. Elements may include a cornice, belt course, molding, string courses, or other continuous horizontal ornamentation a minimum of one and a half-inch depth.
- (62) **Facility for Persons w/Disability (Residential)** – Residential facility for persons with a disability
- (63) **Fence** – An enclosure or barrier, such as wooden posts, wire, iron, etc., used as a boundary, means of protection, privacy screening or confinement, but not including hedges, shrubs, trees, or other natural growth.
- (64) **Financial & Insurance** – A business that provides financial and insurance benefits and services.
- (65) **Fitness, Dance Studio, & Gym** – A facility that offers health and fitness-related activities.
- (66) **Florist** – Retail business whose principal activity is the selling of plants which are not grown on the site and conducting business within an enclosed building.
- (67) **Framing** – A business that offers framing construction.
- (68) **Frontage (Building)** – That facade of the building that abuts the required front yard as stipulated in this zoning code.
- (69) **Funeral Home** – An establishment that provides the service of preparing the deceased for cremation or burial.
- (70) **Furnishing Zone** – A hardscape area that extends from the sidewalk to the back of curb, in which street trees, street furniture, lighting, and signage may be located. Typically used adjacent to commercial or office buildings.
- (71) **Gift, Novelty, & Souvenir Shop** – Retail stores where items such as art, antiques, jewelry books, and notions are sold.
- (72) **Government Offices** – A place that houses governmental practices that serve public needs.
- (73) **Grocery Store** – Stores where most of the floor area is devoted to the sale of food products for home preparation and consumption, which typically also offer other home care and personal care products, and which are substantially larger and carry a broader range of merchandise than convenience stores.
- (74) **Ground Story (Building)** – The story or floor in a building that is same level as the main entrance or outside ground elevation.
- (75) **Gun Shop** – A business practicing the retail sale of guns and related goods.
- (76) **Heating, Air Conditioning & Plumbing** – A business that offers services associated with heating, air conditioning, and plumbing.
- (77) **Holiday Sales** – Temporary sales no greater than thirty days.
- (78) **Home Furnishings & Accessories Sales** – The retail sale of home furnishing and accessories.
- (79) **Home Furniture & Equipment Repair** – An establishment that offers repair services on home furniture and equipment.
- (80) **Home Occupation** – An occupational use that is clearly subordinate to the principal use as a residence and does not require any alteration to the exterior of a building
- (81) **Intergovernmental Agreements** – A contractual or other formal agreement between two or more political jurisdictions that results in a cooperative action or activity.
- (82) **Irrigation (Landscaping)** – A permanent, artificial watering system designed to transport and distribute water to plants.
- (83) **Jewelry Sales & Repair** – Shops that sell new merchandise primarily and some used merchandise from estate sales or reconstitute precious metals they purchase into jewelry forms that are sold at retail on the premises.
- (84) **Landscape Buffer** – A landscaped area, often serving as a buffer between different uses.
- (85) **Landscape Zone** – A landscape area between the back of curb or edge of pavement to the sidewalk in which street trees, swales, lighting, and signage may be located. Typically used adjacent to residential buildings.
- (86) **Large Format Grocery Store** – A establishment with large physical characteristics that offers the retail sale of groceries and associated items.
- (87) **Large Format Retail** – A establishment with large physical characteristics that offers the retail sale of a variety of goods.
- (88) **Legal Services** – The business of providing legal services such as advice and representation to individuals and the public.
- (89) **Link** – A segment of street between two nodes or a stub street.
- (90) **Locksmith** – An individual or business that provides the retail sale and or services associated with keys and locks.
- (91) **Luggage & Leather Goods** – A business that conducts retail sales and supply of luggage and leather goods.
- (92) **Machine Sales and Rental** – A business that practices the retail sale and rental of machines.
- (93) **Mailing Services** – A commercial business which conducts the retail sale of stationery products, provides packaging and mail

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- services (both U.S. Postal and private service), and provides mailboxes for lease.
- (94) **Management Services** – A business that provides services associated with business and management.
- (95) **Master Development Agreement (MDA)** – An agreement between a developer and the political governing body.
- (96) **Medical & Dental with Laboratory** – A facility with a laboratory that practices the healing arts, examination, and treatment of patients seeking medical and or dental services.
- (97) **Medical Supply Store & Rental** – An establishment that offers the retail sale and rental of medical supplies.
- (98) **Merchandise Vending Machine Operators** – One who provides service to vending machines that sell merchandise.
- (99) **Microbrewery** – An establishment that practices the craft of brewing beer and retail sales on a smaller scale in comparison to large commercial breweries.
- (100) **Miniature Golf Course** – A novelty version of golf played with a putter and a golf ball on a miniature course, typically with artificial playing surfaces, and including obstacles such as bridges and tunnels.
- (101) **Mixed Use Development** – Zoning which provides a variety of uses (limited commercial, office and residential), as an appropriate transition between high-traffic arterial streets and nearby residential uses. Ensures compatibility of new development and residential conversions with existing and future residential development.
- (102) **Motorcycle & Motor Scooter Sales** – The retail sale of motorcycles and motor scooters.
- (103) **Music Store** – An establishment that practices the retail sale of music and associated goods.
- (104) **Musical Instrument Repair & Sales** – An establishment that practices repair services and the retail sale of musical instruments, related equipment, and accessories.
- (105) **Network Density** – Network density is the number of nodes per given unit of area, such as nodes per square mile. Network density is established by a maximum block length as well as maximum spacing of pedestrian paths and streets connecting outside the project to existing or future developments.
- (106) **Node** – An intersection or dead end (a cul-de-sac is considered a dead end).
- (107) **Office Supply** – An establishment that practices the retail sale of office related supplies and goods.
- (108) **Open Space** – A use of land for active or passive, public or private, outdoor space, including such uses as parks, plazas, greens, playgrounds, or community gardens. This land is preserved for the purpose of conservation, preservation, agriculture, resource enhancement, recreation, enhancing value to the public of adjacent parks or preserves, or otherwise providing a buffer to adjacent properties.
- (109) **Optical Goods** – A business with the purpose of providing goods and services related to optical goods.
- (110) **Outdoor Gun Range** – An outdoor area dedicated to practices associated with gun handling, firing, and practice.
- (111) **Outdoor Kennel** – An outdoor area dedicated to housing, breeding, and or care of animals such as dogs.
- (112) **Outdoor Sales Lot** – An outdoor area dedicated to the sale of goods.
- (113) **Outdoor Storage (of Goods)** – Permanent outdoor storage of goods not typically housed or sold indoors, such as large-scale materials and building and landscape supplies.
- (114) **Paint & Wallpaper** – An establishment that practices the supply and retail sale of paint and wallpaper.
- (115) **Park** – A Park is defined as a non-commercial, not-for-profit public facility for general community use. Parks include programming and facilities that support active and passive recreation. Commercial uses are allowed inside parks with the approval of County Staff.
- (116) **Party Supply Shop** – A business that practices the retail sale of party supplies and associated goods.
- (117) **Pedestrian Pathway** – A hard-surfaced, ADA-compliant path reserved for pedestrian or other non-motorized use. May be privately owned but must be publicly accessible to meet pedestrian pathway connectivity requirements.
- (118) **Pet & Pet Supply** – A business that practices the sale of certain animals (pets), and pet supplies.
- (119) **Pet Grooming** – Any place or establishment, public or private, where animals are bathed, clipped, or combed for the purpose of enhancing their aesthetic value or health and for which a fee is charged.
- (120) **Photocopying & Printing** – An entity associated with the sale and service of photocopying and printing.
- (121) **Photography Studio & Supplies** – A business that offers an area for photography services and the retail sale of photography-related supplies.
- (122) **Physical Therapy/Physical Rehabilitation** – A business that provides services associated with physical therapy and physical rehabilitation.
- (123) **Power Station** – An area dedicated to the creation of power utility.
- (124) **Public Relations & Advertising** – A business that provides services associated with public relations and advertising.
- (125) **Radio & TV Studio** – An area dedicated to radio and television production.
- (126) **Recreation, Commercial Indoor** – Recreational facilities operated as a business and open to the general public for a fee, such as golf driving ranges and baseball batting ranges.

9.0 Appendix

- (127) **Relative Connectivity** – The relative level of connectivity means that intersections that provide a certain amount of connections among streets. For example, a 4-way intersection provides more connectivity than a 3-way intersection, and both provide more connectivity than a cul-de-sac, or other dead end, which provides no connectivity. Relative connectivity is measured primarily by the connectivity index, which is the ratio of street segments (“links”) to intersections and dead ends (“nodes”) in an area.
- (128) **Repair of Small Goods & Electronics** – A business the provides the service associated with the repair of small goods and electronics.
- (129) **Restaurants** (refer to state law for alcoholic beverage requests) – Any facility where food is prepared for immediate consumption, including but not limited to coffee shops, cafeterias, restaurants, luncheonettes, soda fountains, fast-food services or outlets and all other similar facilities. Do not include any retail establishment whose primary business function is the sale of fuel or food items for off-premise, but not immediate, consumption.
- (130) **Right of Way** – A strip of land reserved for transportation, infrastructure and/or public use between the perimeter property lines of adjacent blocks.
- (131) **Roof Garden** – Green space or gardens on the roof of buildings.
- (132) **Setback (Building)** – Used to enhance the pedestrian environment on the street by placing buildings at an appropriate distance from the sidewalk. Setbacks will vary by street type and adjacent land-use.
- (133) **Sexually Oriented Business** – Adult businesses, nude entertainment business, seminude dancing bars, outcall services, and nude and seminude dancing agencies as defined in Chapter 5.136.
- (134) **Shared Lane** – A shared lane refers to a street that does not have bicycle lanes or a designated shared lane, but the speed and configuration of the street is such that bicycles could comfortably share lanes with traffic.
- (135) **Shoe Repair** – An individual or business that provides the service of repairing shoes.
- (136) **Shooting & Archery Ranges (indoor only)** – An indoor area to practices associated with gun and archery handling, firing, and practice.
- (137) **Short Term (Residential)** – Any dwelling or portion thereof that is available for uses or is used for accommodations or lodging of guests, paying a fee, or other compensation for a period of less than thirty consecutive days.
- (138) **Specialty Food Market (Butcher, Candy, Fish Market, Produce, etc.)** – A business associated with the retail sale of specific foods.
- (139) **Sporting Goods Sales & Rental** – A business that practices the retail sale and rental of sporting and outdoor goods.
- (140) **Stationery & Paper Store** – An establishment that practices the retail sale of stationery, paper, and related supplies.
- (141) **Storm Water** – Means stormwater runoff, snow melt runoff, surface runoff, street wash waters related to street cleaning or maintenance, infiltration, and drainage.
- (142) **Story (Building)** – Story means that portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above. If the finished floor level directly above a usable or unused underfloor space is more than six feet above grade for more than fifty percent of the total perimeter or is more than twelve feet above grade at any point, such usable or unused underfloor space shall be considered as a story.
- (143) **Stream Buffer** – A vegetated area that separates and protects a stream from other land uses.
- (144) **Street** – A public thoroughfare including roads, highways, drives, lanes, avenues, places, boulevards or any other thoroughfare dedicated for public use that affords primary access to abutting properties.
- (145) **Street (Connector)** – A medium capacity street for slow speeds with a standard right-of-way. It primarily serves as a through street within the Neighborhood and connects Neighborhood Street to Avenues.
- (146) **Street (Major)** – A street that is collector-level or above. See Salt Lake County Code of Ordinances 14.21.010 for street classification definitions.
- (147) **Street (Primary)** – A designation with the purpose of developing a network of streets in the Town Center and Village Centers with continuous building frontage and no or limited vehicular access to reduce conflicts between pedestrians and vehicular traffic.
- (148) **Street Connectivity** – How wells streets connect and handle differing transportation densities.
- (149) **Street Network** – System of interconnected streets that forms the framework for community development and transportation.
- (150) **Stub Street** – A street that runs from an intersection to connect to a future adjacent development.
- (151) **Surface (Impervious)** – Any hard-surfaced, man-made area that does not readily absorb or retain water, including but not limited to building roofs, parking and driveway areas, graveled areas, sidewalks, and paved recreation areas.
- (152) **Surface (Semi-impervious)** – Land surface that partially allows penetration of water.
- (153) **Tailor & Seamstress** – An individual or business that practices the service of tailoring.

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- (154) **Tanning Salon** – An establishment dedicated to providing services and retail sales of items associated with artificial tanning.
- (155) **Theater** – A structure used for dramatic, operatic, motion pictures, or other performance, for admission to which entrance money is received and no audience participation or meal service allowed.
- (156) **Toy Shop** – An establishment dedicated to the retail sale of toys and related items.
- (157) **Traffic Impact Study (TIS)** – A tool used to reduce and plan for traffic impacts created by new development. A study (or studies) conducted to quantify traffic and needed roadway improvements.
- (158) **Training Center** – An establishment with space for the conduction of training services.
- (159) **Transit** – The conveyance of persons or goods from one place to another by means of a local, public transportation system.
- (160) **Travel Agency & Tour Operator** – A business that offers services associated with travel.
- (161) **Typology (Building)** – Dictate form, glazing/transparency, and other features of a building.
- (162) **Underground Utility Station** – A station related to a utility that is placed beneath the surface grade or underground.
- (163) **Utility and Infrastructure** – An area that is primarily utilized for the City's infrastructure needs. Utility and infrastructure include such uses as electric or gas services, sewage treatment, water treatment and storage, and energy conversion systems.
- (164) **Vertical Mixed-Use Storage** – Vertical land use with mixed commercial uses on the ground street facing floor with storage options above and behind said uses.
- (165) **Veterinarian** – An establishment for the care and treatment of the diseases and injuries of animals and where animals may be boarded during their convalescence.
- (166) **Video/Games Sales & Rental** – A business that practices the retail sale or rental of videos and or games.
- (167) **Warehouse** – Facilities characterized by extensive warehousing, frequent heavy trucking activity, open storage of material, or nuisances such as dust, noise, and odors, but not involved in manufacturing or production.